

March 25, 2025

R.1

Rod Sawatzky

██████████
Warman, SK ██████████

SENT VIA EMAIL

Re: Development Permit Denial: NHS-2024-09117
Proposal: New One Unit Dwelling
Site Address: 1205 Spadina Cres E
Neighbourhood: North Park (Category 1 Established Neighbourhood)
Zoning District: R2 – Low Density Residential District 2

The Planning and Development Division has reviewed your Building and Development Permit application for an Accessory Building. After review, the following deficiency has been noted with the City of Saskatoon's Zoning Bylaw 9990:

1. **Requirement:** Section 8.4.4 (3)(a) states:
"The front yard setback requirement for OUDs, TUDs, SDDs and MUDs containing up to four dwelling units in established neighbourhoods shall not vary by more than 3 metres from the average front yard setback of the principal buildings on adjacent flanking sites, provided that in no case shall the setback be less than 6 metres."

The adjacent properties have existing front yard setbacks of:

1207 Spadina Cres E = 13.21m

1203 Spadina Cres E = 10.27m

Average = 11.74m

Based on the average front yard setback of the adjacent properties (11.74m), the minimum front yard setback shall not be less than 8.74m (11.74m – 3m).

Proposed: The proposed One Unit Dwelling has a front yard setback of 6.555m.

Deficiency: This proposed front yard setback is deficient 2.185m (7.168ft).

2. **Requirement:** Section 8.4.2 states the minimum rear yard setback for a One Unit Dwelling on an interior site is 7.5m.

Proposed: The proposed One Unit Dwelling has a rear yard setback of 4.775m.

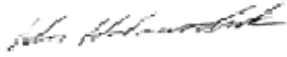
Deficiency: This proposed front yard setback is deficient 2.725m (8.94ft).

As consequence, the Planning and Development Division cannot approve your plans for a Development Permit.

I understand you wish to appeal this decision to the Development Appeal Board. To proceed with a appeal request please fill out the online Development Appeal application form available through the following link: <https://capps.saskatoon.ca/development-appeals/> within 30 days of the date of this letter. Note there is an application fee of \$50 for this process. Attached to this email is general information about the Development Appeal process, as well as an extract from the Planning and Development Act 2007.

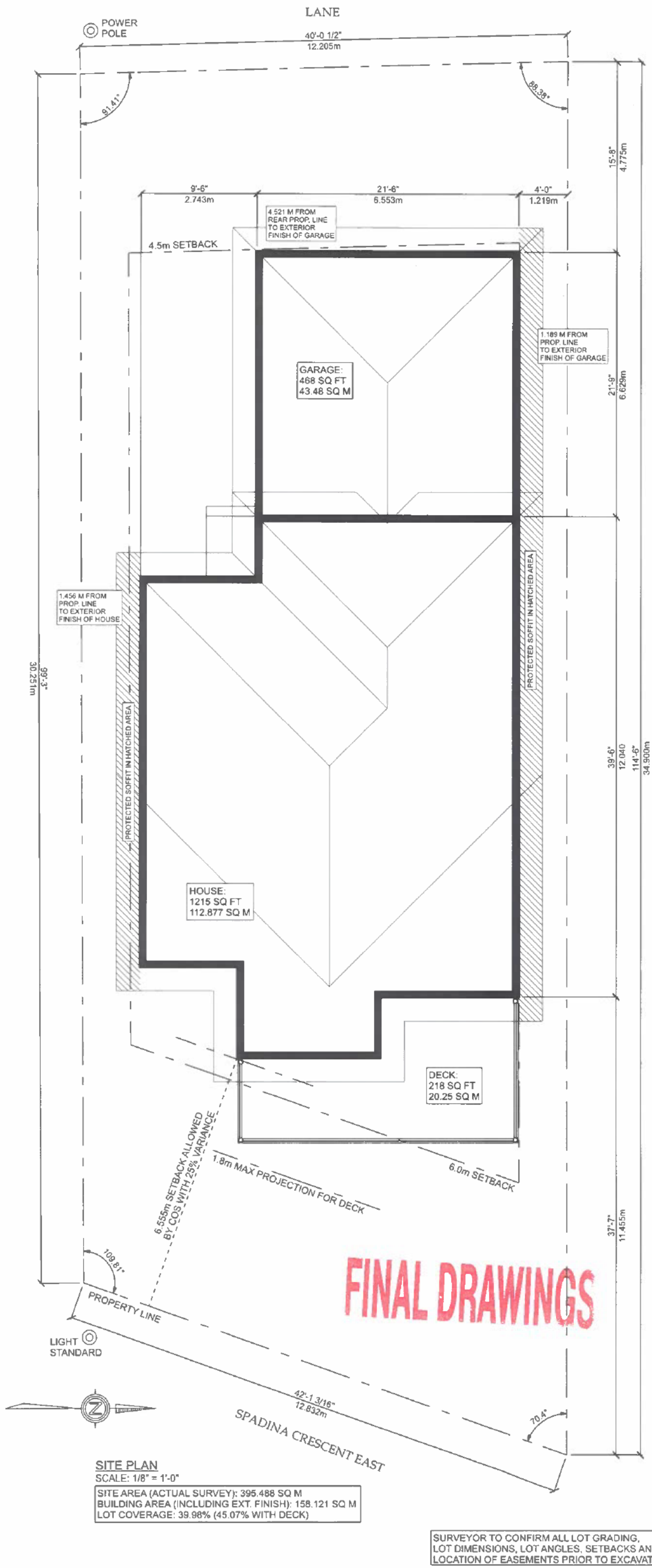
If you have any questions about this information, please let me know.

Sincerely,



Wes Holowachuk
Planning and Development Division (306-975-7905)
Wes.Holowachuk@Saskatoon.ca

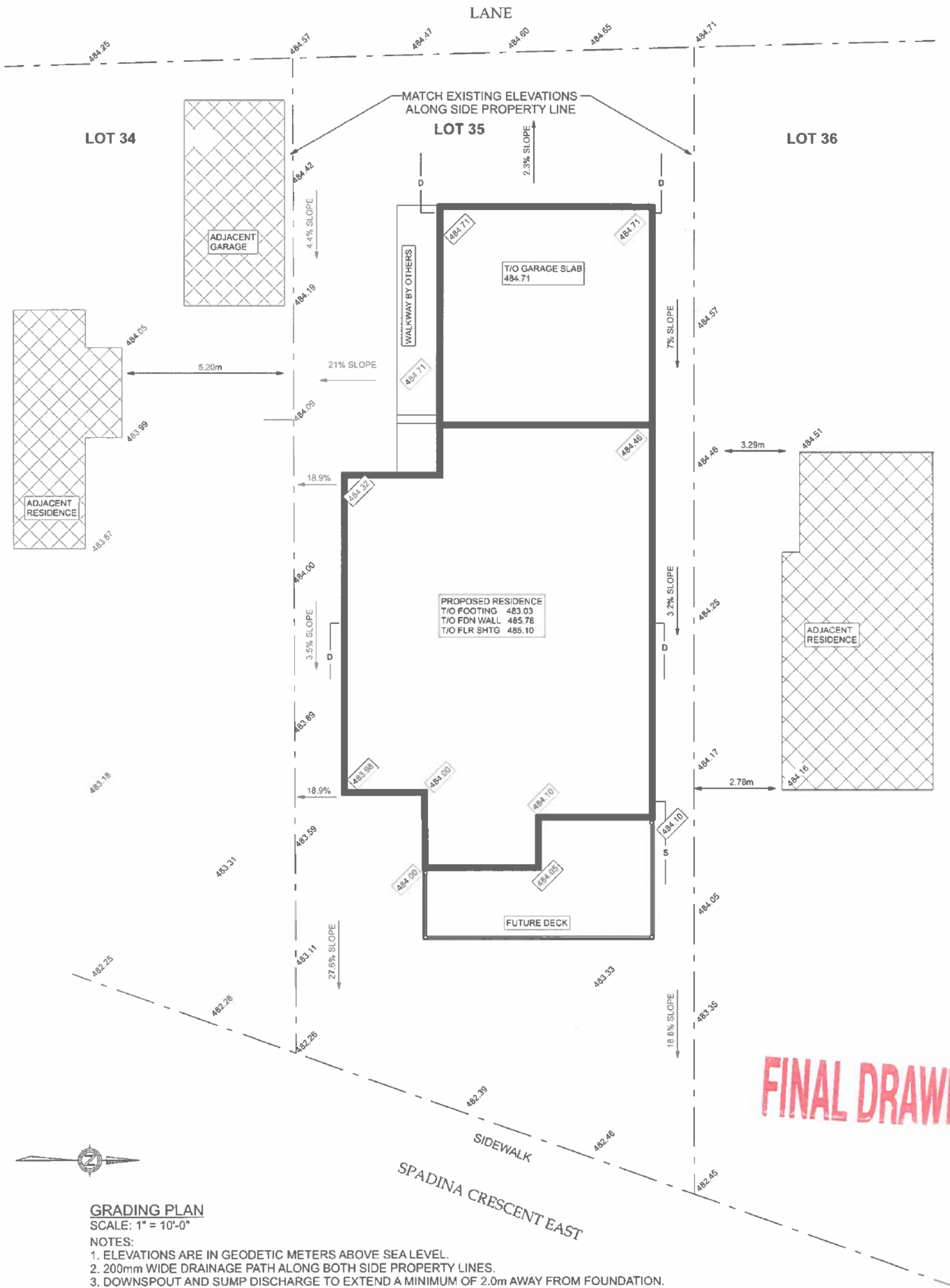
cc: Brent McAdam, Planning and Development
Development Appeal Board Secretary, City Clerks
Winston Mah, Property Owner



ZONING R2 - CATEGORY 1 NORTH PARK
SETBACKS:
FRONT: 6.0m
REAR: 4.5m
SIDES 0.75m

LOT: 35
BLOCK: 14
PLAN NO.: I196
CIVIC ADDRESS: 1205 SPADINA CRESCENT EAST,
SASKATOON, SK

13-Feb-2025	WH PROJECT: S2426
MAH RESIDENCE 1205 SPADINA CRESCENT EAST SASKATOON, SK	
REVISION: S2426-11	1 OF 12
DRAWN BY: KJC	



FINAL DRAWINGS

GRADING PLAN
SCALE: 1" = 10'-0"

- NOTES:
1. ELEVATIONS ARE IN GEODETIC METERS ABOVE SEA LEVEL.
 2. 200mm WIDE DRAINAGE PATH ALONG BOTH SIDE PROPERTY LINES.
 3. DOWNSPOUT AND SUMP DISCHARGE TO EXTEND A MINIMUM OF 2.0m AWAY FROM FOUNDATION.
 4. WHEN APPLICABLE, TOP OF WINDOW WELLS (w/w) REQUIRED TO BE 50mm ABOVE FINAL GRADE.

LEGEND:

EXISTING ELEVATIONS SHOWN xxx.xx
PROPOSED ELEVATION SHOWN xxx.xx
SUMP DISCHARGE SHOWN s
DOWNSPOUTS SHOWN a

LOT: 35
BLOCK: 14
PLAN NO.: I196
CIVIC ADDRESS: 1205 SPADINA CRESCENT EAST,
SASKATOON, SK

CONTACT INFORMATION

OWNER:
WINSTON MAH
306-717-7032

DEVELOPER/BUILDER:
WARMAN HOMES
306-933-9595

13-Feb-2025	WH PROJECT: S2426
MAH RESIDENCE 1205 SPADINA CRESCENT EAST SASKATOON, SK	
REVISION: S2426-11	2 OF 12
DRAWN BY: KJC	

18-Feb-2025	WH PROJECT: S2426	
REVISION	DATE	BY
SDC	06 SEP 2024	KJC
S2426-7	10 OCT 2024	CBU
S2426-11	12 FEB 2025	CBU

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ALL CONSTRUCTION TO MEET OR EXCEED ALL LOCAL AND NATIONAL BUILDING CODES.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS, SPECIFICATIONS AND METHODS OF CONSTRUCTION.

DO NOT SCALE DRAWINGS. REPORT ANY ERRORS OR OMISSIONS TO OWNER BEFORE PROCEEDING.



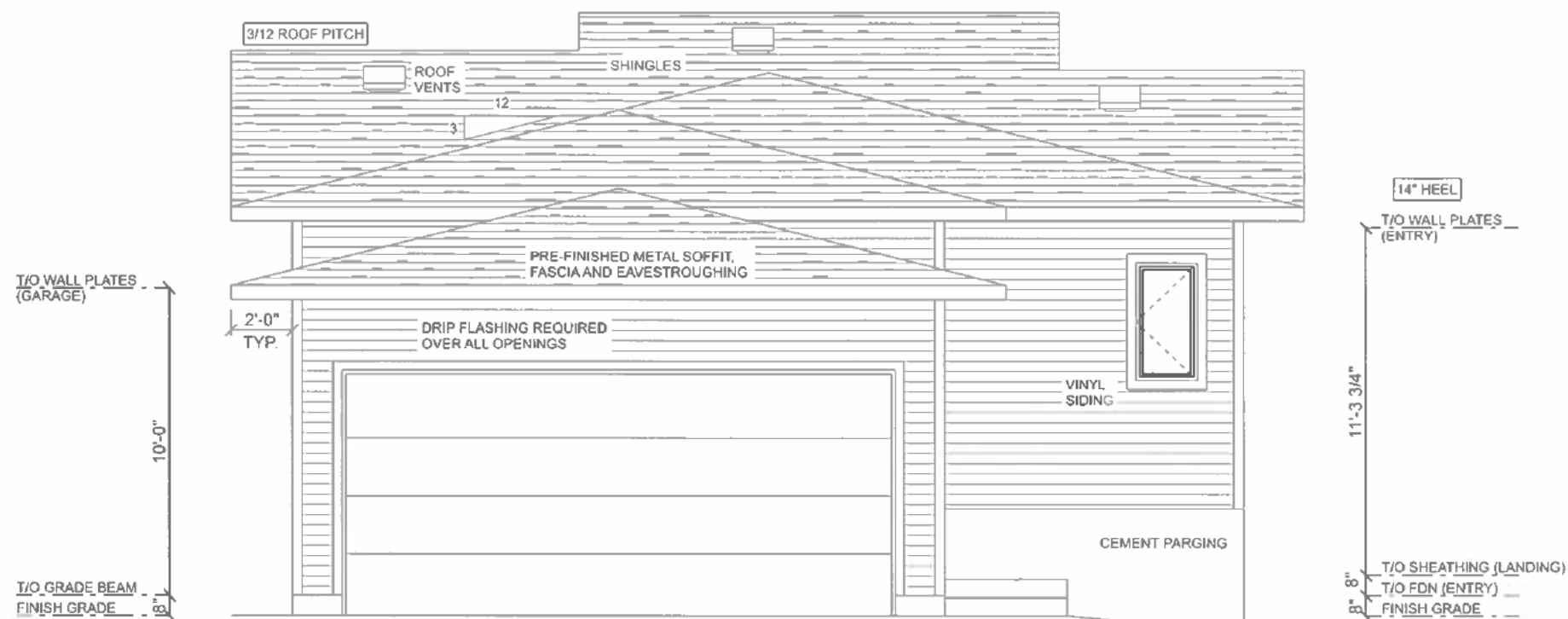
FRONT ELEVATION

SCALE: 3/16" = 1'-0"

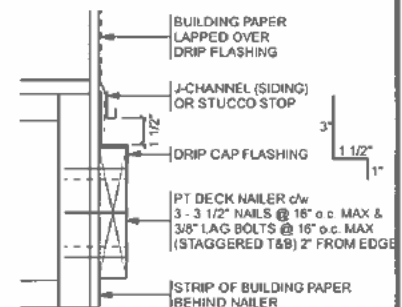
3 1/2" TRIM AROUND ALL OPENINGS

Ⓡ DENOTES RESTRICTOR REQUIRED:
< 900mm ABOVE FLOOR AND
> 1800mm ABOVE FINISH GRADE

FINAL DRAWINGS



REAR ELEVATION



DECK NAILER DETAIL



Build it like you own it.
602 South Railway St. West 306-933-9595
Warman, SK S0K 4S0 info@warmanhomes.ca

MAH RESIDENCE
1205 SPADINA CRESCENT EAST
SASKATOON, SK

SIZE: 1215 SQ FT

DRAWN BY: KJC

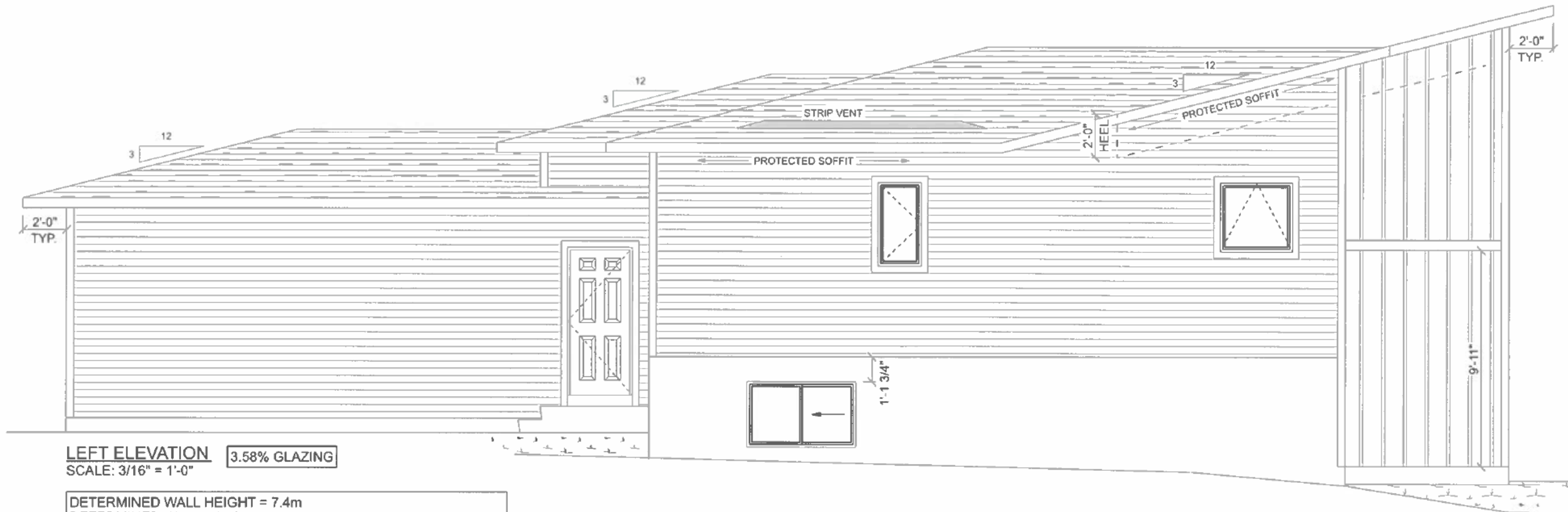
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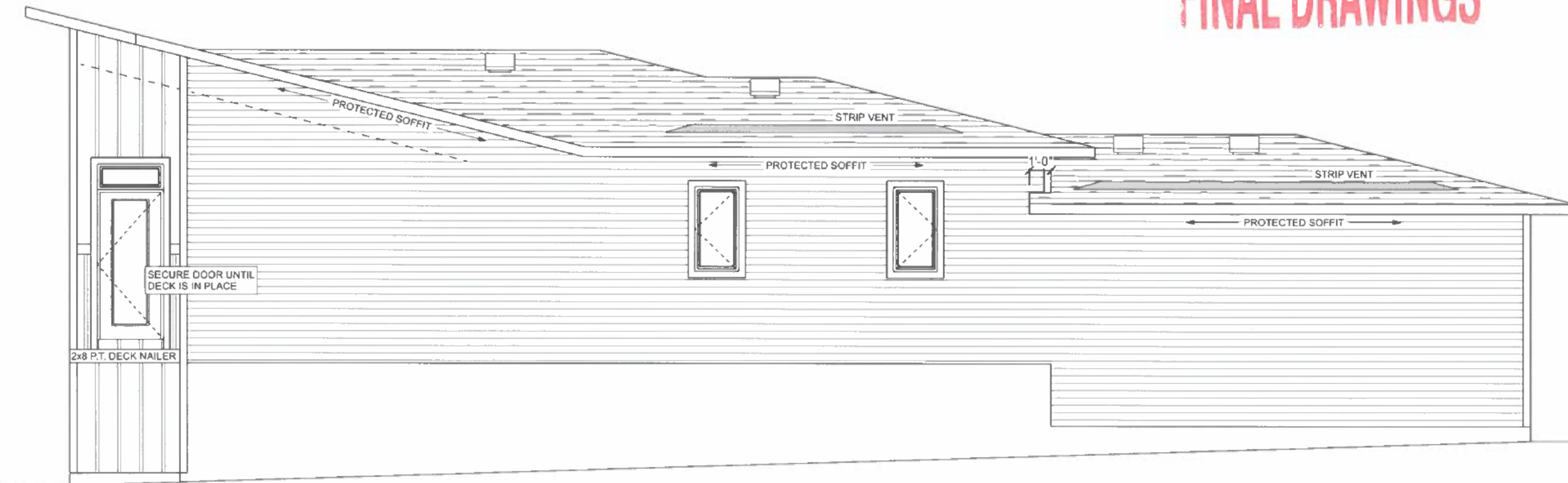
LEFT ELEVATION 3.58% GLAZING
SCALE: 3/16" = 1'-0"

DETERMINED WALL HEIGHT = 7.4m
DETERMINED WALL LENGTH = 14.000m

WALL HEIGHT x WALL LENGTH = ALLOWABLE SIDEWALL AREA
7.4m x 14.000m = 103.6 SQUARE METERS (1115.14 SQUARE FEET)

ACTUAL SIDEWALL AREA: 933 SQUARE FEET

FINAL DRAWINGS



RIGHT ELEVATION 3.04% GLAZING

WARMAN HOMES

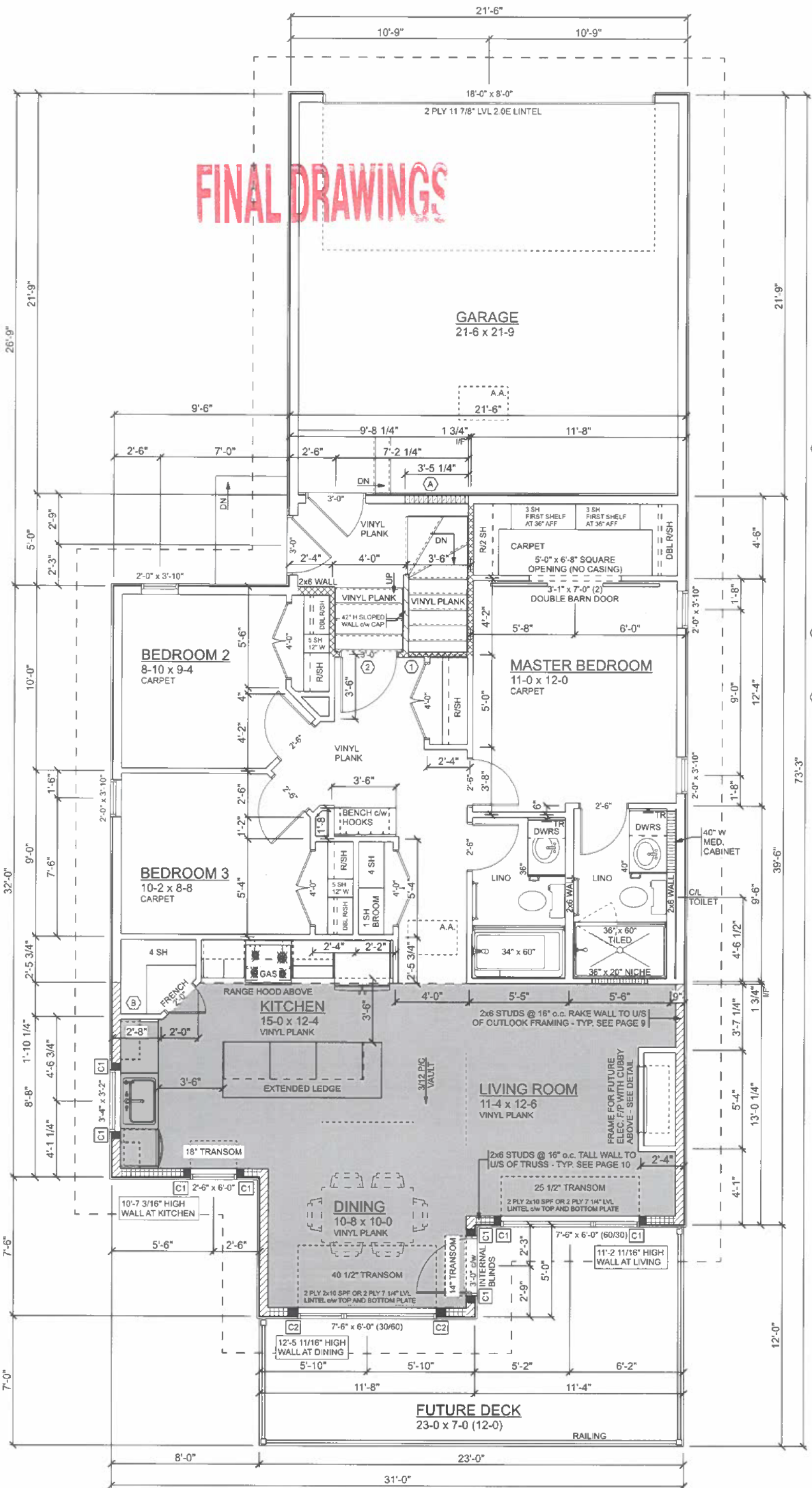
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SIZE: 1215 SQ FT
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4 OF 12



MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"

3" CASING & 4" BASEBOARD
PVC CASING & BASEBOARD IN BATHROOMS

(A) FRAME PORTION OF LANDING WALL WHERE
STAIRS ARE TO T/O CONCRETE WALL - SEE SECTION

(B) FRAME PANTRY WALLS TO UNDERSIDE OF VAULT AND
BOX DOWN CEILING INSIDE OF PANTRY AS REQUIRED

- (C1) 2 PLY 2x6 KING STUD IN ADDITION TO
1 PLY 2x6 SPF JACK STUD TO LINTEL
- (C2) 3 PLY 2x6 KING STUD IN ADDITION TO
1 PLY 2x6 SPF JACK STUD TO LINTEL

NOTES FOR SECONDARY
SUITE SEPARATIONS

- (1) A CONTINUOUS SMOKE TIGHT BARRIER MUST BE
PROVIDED ON WALLS, AND FLOOR-CEILING
FRAMING AND IS REQUIRED BETWEEN:
- THE PRINCIPAL DWELLING AND THE
SECONDARY SUITE
- THE COMMON SPACES (STAIRWELL) AND THE
REMAINDER OF THE BUILDING

INSTALL ONE LAYER 1/2" (12.7mm) DRYWALL ON
EACH SIDE OF THE WALL AND ONE LAYER OF 1/2"
(12.7mm) DRYWALL ON THE CEILING. THE SEAMS
MUST BE TAPED AND MUDDERED OR FIRE TAPED.

ALL PENETRATIONS IN A SMOKE TIGHT BARRIER
MUST BE TIGHT FITTING OR SEALED WITH A
FLEXIBLE SEALANT OR TAPE AS PER 9.10.9.2.(2).

XXXXXX SMOKE TIGHT BARRIER

- (2) DOORS LOCATED IN A SMOKE TIGHT BARRIER
ARE REQUIRED TO BE 1.75" (45mm) SOLID-CORE,
WOOD DOORS AND HAVE A SELF-CLOSING
DEVICE AS PER ARTICLE 9.10.9.3 OR REQUIRE
A 20 MINUTE FIRE PROTECTION RATING AND
HAVE A SELF-CLOSING DEVICE.
- (3) AN STC RATING OF AT LEAST 43 IS
REQUIRED BETWEEN THE PRINCIPAL
DWELLING AND THE SECONDARY SUITE.

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OMISSIONS TO OWNER BEFORE PROCEEDING.

WINDOW SIZES SHOWN ARE APPROXIMATE.
CONTRACTOR SHALL VERIFY ROUGH OPENING SIZES
WITH WINDOW SUPPLIER.

ALL EXTERIOR WALL LINTELS TO BE 2-2x10 SPF #2
OR BTR UNLESS NOTED OTHERWISE. OPENINGS 72"
OR LESS c/w ONE JACK STUD & ONE KING STUD.
OPENINGS OVER 72" c/w TWO JACK STUDS & ONE KING
STUD. UNLESS NOTED OTHERWISE.

PROVIDE BLOCKING IN WALL FOR ALL TOWEL BARS,
TOILET PAPER HOLDERS, TOWEL RINGS, SAFETY
BARS, & BARN DOOR HARDWARE

EXTERIOR DOORS
- ALL EXTERIOR DOORS TO THE HOUSE TO HAVE
DEADBOLTS
- OUTSWINGING DOORS TO HAVE NON REMOVEABLE
HINGE PINS
- PROVIDE DOOR VIEWER IN FRONT ENTRY DOOR
- INSTALL MID-HEIGHT BLOCKING BOTH SIDES OF
EXTERIOR DOORS
- DOOR FROM HOUSE TO GARAGE TO BE INSTALLED
W/ WEATHERSTRIPPING AND SELF-CLOSURE DEVICE

GARAGE DOOR OPERATOR SWITCH TO BE LOCATED
AT MAIN DOOR TO HOUSE.

PROVIDE EFFECTIVE FUME BARRIER BETWEEN HOUSE
AND GARAGE.

ENSURE A VENTILATION SYSTEM IS PROVIDED AND
CONFORM TO NBCC 9.32.

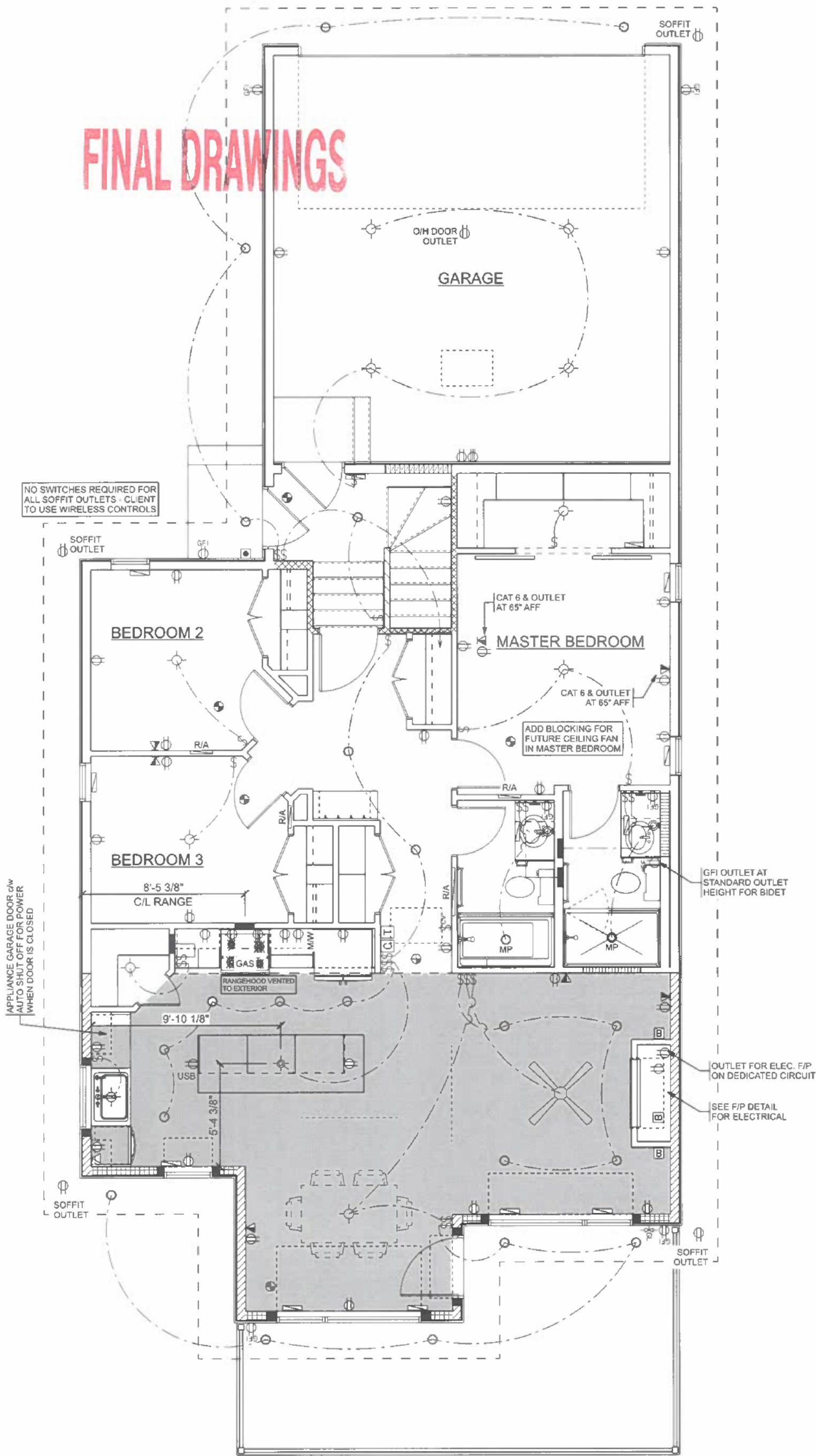


802 South Railway St. West 306-933-9595
Warman, SK S0K 4S0 info@warmanhomes.ca

MAH RESIDENCE
1205 SPADINA CRESCENT EAST
SASKATOON, SK

SIZE: 1215 SQ FT
DRAWN BY: KJC

FINAL DRAWINGS



ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
14 Inch Return Air	
30 Inch Return Air	
Cat 5 Telephone	
Central Vent Switch	
Coax & Cat 6 Ethernet	
Doorbell	
Door Chime	
Gas Line	
Heat Register	
Light	
Outlet	
Outlet 220v	
Outlet GFI	
Pendant Light	
Pot Light	
Smoke & CO Detector	
Smoke Detector	
Switch	
Thermostat	
Vent Duct	
Wall Mount Light	

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ELECTRICAL WIRES NOT PERMITTED TO RUN PERPENDICULAR TO TRUSSES IN ANY AREAS GREATER THAN 3'-3 3/8" IN HEIGHT.

MECHANICAL AND ELECTRICAL LOCATIONS MAY BE ADJUSTED BY CONTRACTOR AS REQUIRED.

ELECTRICAL LAYOUT
SCALE: 3/16" = 1'-0"

3" CASING & 4" BASEBOARD
PVC CASING & BASEBOARD IN BATHROOMS

DIMMER SWITCH ON EACH LIGHT THROUGHOUT
EXCEPT WALK-IN CLOSET AND PANTRY LIGHT

CAT 6 OUTLETS THROUGHOUT

ALL POTLIGHT LOCATIONS ARE AN
ESTIMATE ONLY AND MAY NEED TO BE
ADJUSTED TO SUIT ROOF TRUSS LOCATIONS.
IF OWNER REQUIRES POTLIGHTS IN AN EXACT
LOCATION, IT SHOULD BE NOTED ON PLAN AND
ADDITIONAL CHARGES WILL APPLY.



Build it like you own it.

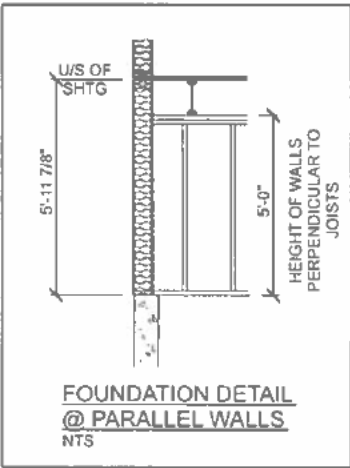
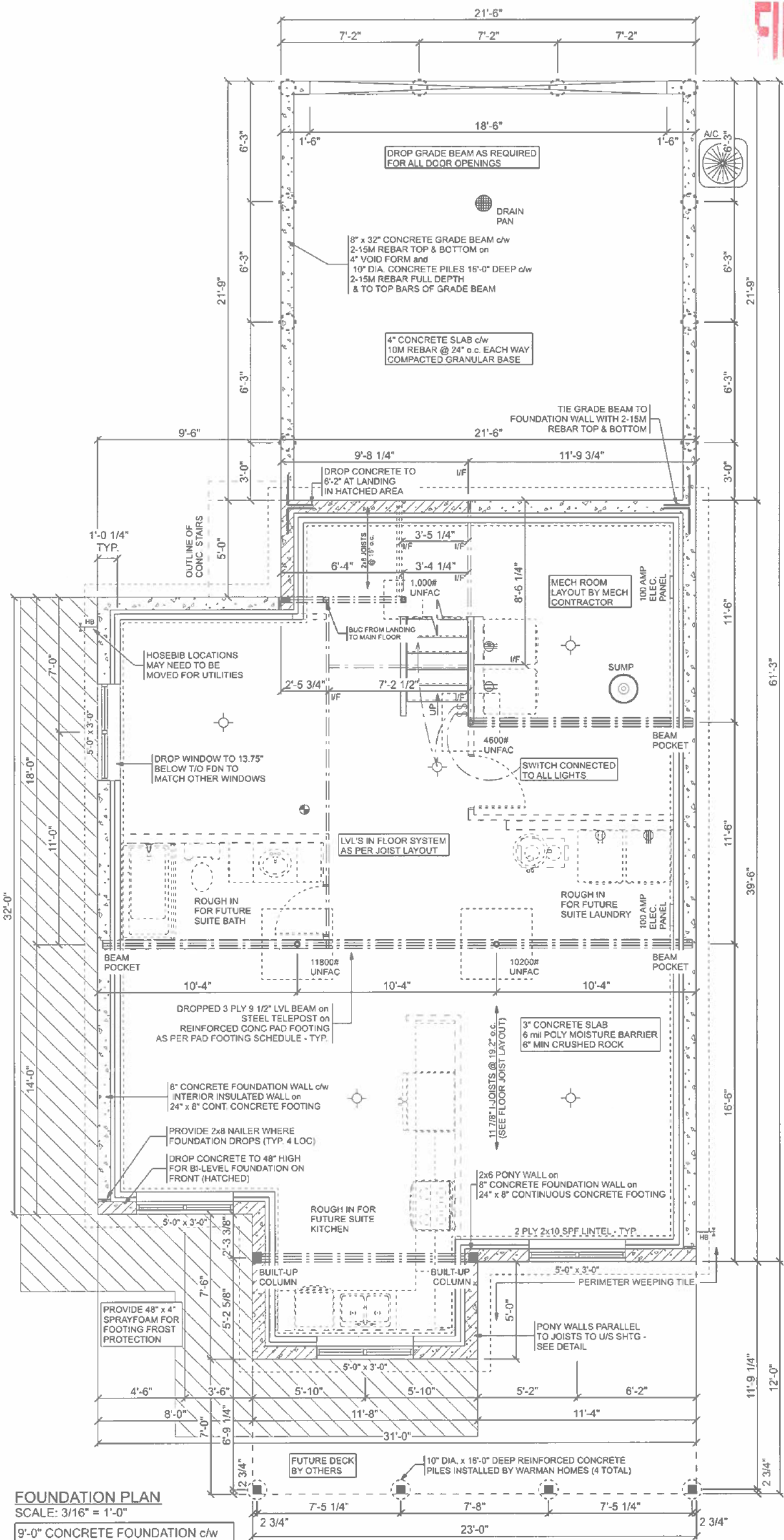
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6 OF 12

FINAL DRAWINGS



PAD FOOTING SIZES	
STANDARD LOADING (UP TO 10,000#)	36"x36"x8" CONCRETE PAD FOOTING r/w 4-10M REBAR EACH WAY STEEL TELEPOST AS PER SUPPLIER
MEDIUM LOADING (UP TO 20,000#)	44"x44"x10" CONCRETE PAD FOOTING r/w 5-10M REBAR EACH WAY STEEL TELEPOST AS PER SUPPLIER
HEAVY DUTY LOADING (UP TO 30,000#)	54"x54"x12" CONCRETE PAD FOOTING r/w 6-10M REBAR EACH WAY STEEL TELEPOST AS PER SUPPLIER

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WINDOW SIZES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ROUGH OPENING SIZES WITH WINDOW SUPPLIER PRIOR TO INSTALL.

ALL POLY TO CONFORM TO CAN/CGSB-51.34-M

ALL CONCRETE SHALL ATTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 20 MPa FOR FLOORS; 25MPa FOR ALL FOOTINGS, WALLS, PILES AND GRADE BEAMS; 32MPa FOR GARAGE FLOORS AND EXTERIOR STEPS USING TYPE HS CEMENT.

ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL. ANY OVER EXCAVATION SHALL BE FILLED WITH CONCRETE.

PROVIDE CONTINUOUS BEAD OF SEALANT AROUND PERIMETER BETWEEN SLAB AND FOUNDATION WALL AND AT ALL PENETRATIONS THROUGH SLAB AS PER NBCC 9.13.4.

AS REQUIRED BY NBCC 9.13.4. PROVIDE ROUGH-IN FOR SUBFLOOR DEPRESSURIZATION.



Build it like you own it.

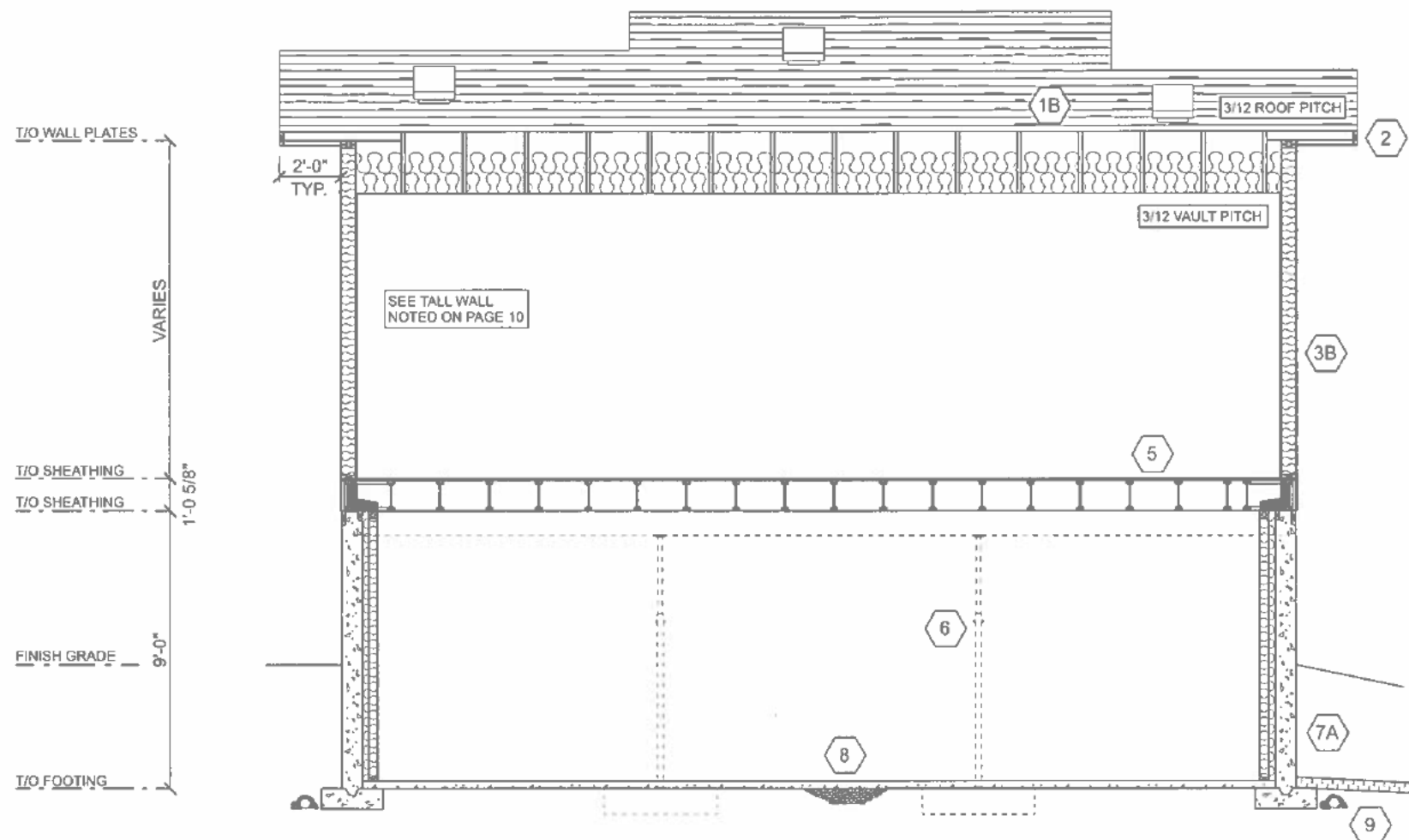
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7 OF 12



FINAL DRAWINGS

SOUND TRANSMISSION REQUIREMENTS AS PER ARTICLE 9.11.1.1(2) - NOT SHOWN IN SECTION (FUTURE SUITE)	
INTERIOR WALL (43 STC)	
(A)	1/2" DRYWALL 2x4 or 2x6 STUDS @ 16" o.c. SOUND ABSORBING MATERIAL RESILIENT METAL CHANNEL @ 16" o.c. OR 24" o.c. 1/2" DRYWALL
FLOOR ASSEMBLY (43 STC)	
(B)	FINISHED FLOOR 3/4" T&G OSB (AND ULAY AS REQUIRED) ENGINEERED JOISTS @ MAX 24" o.c. MINIMUM 150mm SOUND ABSORBING MATERIAL RESILIENT METAL CHANNELS @ 16" o.c. OR 24" o.c. 1/2" CD DRYWALL

1A ROOF SYSTEM

SHINGLES
ROLL ROOFING EAVE PROTECTION
(MIN. 48" UP ROOF)
7/16" ROOF SHEATHING c/w H-CLIPS
PRE-ENGINEERED TRUSSES @ 24" o.c.
TRUSS BRACING AS PER MANUFACTURERS
RECOMMENDATIONS
R50 (RSI 8.8) BLOWN-IN INSULATION
CARDBOARD INSULATION STOPS @ EAVES
6 mil POLY V.B.
1/2" CD DRYWALL

1B VAULTED ROOF SYSTEM

SHINGLES
ROLL ROOFING EAVE PROTECTION
(MIN. 48" UP ROOF)
7/16" ROOF SHEATHING c/w H-CLIPS
PRE-ENGINEERED TRUSSES @ 24" o.c.
TRUSS BRACING AS PER MANUFACTURERS
RECOMMENDATIONS
TWO LAYERS R28 (RSI 4.935) BATT INSULATION
CARDBOARD INSULATION STOPS @ EAVES
6 mil POLY V.B.
1/2" CD DRYWALL

2 EAVES

2x6 FASCIA BOARD
PRE-FINISHED METAL SOFFIT,
FASCIA & EAVESTROUGHING

3A EXTERIOR WALL

EXTERIOR FINISH AS PER ELEVATIONS
BUILDING PAPER or HOUSEWRAP
7/16" WALL SHEATHING
2x6 STUDS @ 24" o.c. U.N.O.
R24 (RSI 4.23) BATT INSULATION
6 mil POLY V.B.
1/2" DRYWALL (DRYWALL INTERIOR
OF MAIN FLOOR WALLS ONLY)

3B EXTERIOR WALL (TALL WALL)

EXTERIOR FINISH AS PER ELEVATIONS
BUILDING PAPER or HOUSEWRAP
7/16" WALL SHEATHING
2x6 STUDS @ 16" o.c. OR AS
NOTED BY P.ENG ON PLAN
R24 (RSI 4.23) BATT INSULATION
6 mil POLY V.B.
1/2" DRYWALL

4 INTERIOR WALL

1/2" DRYWALL
2x4 STUDS U.N.O. @ 16" o.c.
1/2" DRYWALL

5 FLOOR SYSTEM

FINISHED FLOORING
3/8" ULAY IN LINO AREAS
3/4" T & G OSB FLOOR SHEATHING
11 7/8" I-JOISTS @ 19.2" o.c.

6 BEAM/POST/FOOTING

BEAM AS PER PLAN on
STEEL TELEPOST on
REINFORCED CONC PAD FOOTING
AS PER PAD FOOTING SCHEDULE

7A FOUNDATION WALL (9' CONC.)

DAMP-PROOF BOTH SIDES BELOW GRADE
AND PARING ABOVE GRADE
8" CONCRETE FOUNDATION WALL c/w
2-10M REBAR HORIZONTAL T/M/B and
15M VERTICAL REBAR @ 24" o.c. on
24" x 8" CONTINUOUS CONCRETE FOOTING c/w
2-10M REBAR c/w
2x4 STUDS @ 24" o.c.
R24 (RSI 4.23) BATT INSULATION
6 mil POLY V.B.

7B FOUNDATION WALL (BI-LEVEL)

DAMP-PROOF BOTH SIDES BELOW GRADE
AND PARING ABOVE GRADE
8" CONCRETE FOUNDATION WALL c/w
2-10M REBAR HORIZONTAL T/M/B and
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2-10M REBAR c/w
2x4 STUDS @ 24" o.c.
R24 (RSI 4.23) BATT INSULATION
6 mil POLY V.B.

8 SLAB FLOOR

3" CONCRETE SLAB
6 mil POLY MOISTURE BARRIER
6" MIN. CRUSHED ROCK

9 WEEPING TILE

4" DIA. SOCKED WEEPING TILE IN
6" CRUSHED STONE (CLEAR)
CONNECTED TO SUMP PUMP
(SLOPE EXCAVATION TO SUMP)

10 RIM JOIST INSULATION

3" MED. DENSITY SPRAYFOAM INSULATION
c/w FIREGUARD IN ALL PERIMETER JOIST SPACES.
CONTRACTOR TO ENSURE CONTINUITY OF
INSULATION & AVB REQUIREMENTS ARE MET

11 HOUSE / GARAGE WALL

7/16" WALL SHEATHING
2x6 STUDS @ 24" o.c. U.N.O.
R24 (RSI 4.23) BATT INSULATION
6 mil POLY V.B.
1/2" DRYWALL

12 GARAGE ROOF

SHINGLES c/w
ROLL ROOFING EAVE PROTECTION
(MIN. 48" UP ROOF)
7/16" ROOF SHEATHING c/w H-CLIPS
PRE-ENGINEERED TRUSSES @ 24" o.c.
TRUSS BRACING AS PER MANUFACTURERS
RECOMMENDATIONS
CARDBOARD INSULATION STOPS AT EAVES

13 GARAGE WALL

EXTERIOR FINISH AS PER ELEVATIONS
BUILDING PAPER or HOUSEWRAP
7/16" WALL SHEATHING
2x6 STUDS @ 24" o.c.

14 GRADE BEAM & PILE

8" x 32" CONCRETE GRADE BEAM c/w
2-15M REBAR TOP & BOTTOM on
4" VOID FORM and
10" DIA. CONCRETE PILES 16'-0" DEEP c/w
2-15M REBAR FULL DEPTH
& TO TOP BARS OF GRADE BEAM

15 GARAGE SLAB FLOOR

4" CONCRETE SLAB r/w
10M REBAR @ 24" o.c. EACH WAY
COMPACTED GRANULAR BASE

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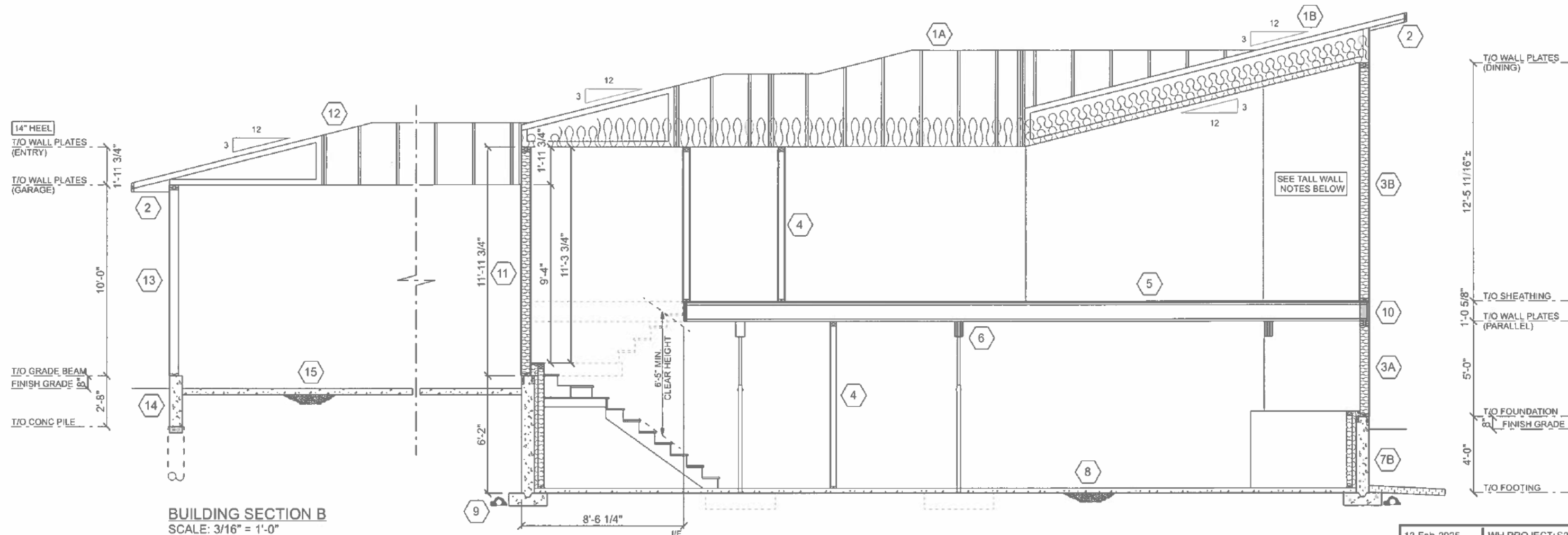
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SASKATOON, SK

SIZE: 1215 SQ FT

DRAWN BY: KJC

9 OF 12



BUILDING SECTION B
SCALE: 3/16" = 1'-0"

FINAL DRAWINGS

- 1A ROOF SYSTEM
- 1B VAULTED ROOF SYSTEM
- 2 EAVES
- 3A EXTERIOR WALL
- 3B EXTERIOR WALL (TALL WALL)
- 4 INTERIOR WALL
- 5 FLOOR SYSTEM
- 6 BEAM/POST/FOOTING
- 7A FOUNDATION WALL (9' CONC.)
- 7B FOUNDATION WALL (BI-LEVEL)
- 8 SLAB FLOOR
- 9 WEEPING TILE
- 10 RIM JOIST INSULATION
- 11 HOUSE / GARAGE WALL
- 12 GARAGE ROOF
- 13 GARAGE WALL
- 14 GRADE BEAM & PILE
- 15 GARAGE SLAB FLOOR

ENGINEERED TALL WALL FRAMING NOTES

1. Install all lintels, jack studs, cripples, plates, sheathing and fasteners as per current NBCC.
2. Install min. 3/8" OSB or plywood sheathing on exterior.
3. Top and bottom plates to be SPF material.
4. Tall wall studs & king studs to be full height continuous to underside of top plates supporting truss heel or outlook framing. Jack studs to run full height, continuous to uppermost lintel.
5. Install Simpson L50 top & bottom of built-up columns (king studs plus jack studs). Install clip on both sides of column where possible.
6. Fasten built-up columns w/ (2) nails @ 8" o.c. each ply (4" from top and bottom of wall). Install nails both sides for jack stud.
7. Full depth SPF blocking at max. 4' o.c.
8. Install Simpson L50 to one side of each truss heel (or outlook framing) that bear on tall wall.
9. Install all Simpson framing clips with manufacturer approved fasteners.
10. Install (3) end nails in each stud & lintel plate. Lintels to have SPF top & bottom plate. Lintels to be minimum 2ply 2x10 u.n.o.
11. Install full depth crush blocking below built-up columns (king studs/jack studs) in joist space. Nails to be 3-1/4" U.N.O.
12. Nails to be 3-1/4" U.N.O.
13. Wood Properties: S-P-F No 2 or better
14. Engineered Wood Properties: LVL 2.0E or better
15. Tall wall is not engineered as a shear wall. Overall lateral stability designed by others.
16. Tall wall is defined as an exterior wood wall with an unsupported height greater than 12'-0".
17. Refer to door/window manufacturer's specifications for recommended rough opening dimensions.

REVISION	DATE	BY
SDC	06 SEP 2024	KJC
S2426-7	10 OCT 2024	CBU
S2426-11	12 FEB 2025	CBU

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ALL CONSTRUCTION TO MEET OR EXCEED ALL LOCAL AND NATIONAL BUILDING CODES.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS, SPECIFICATIONS AND METHODS OF CONSTRUCTION.

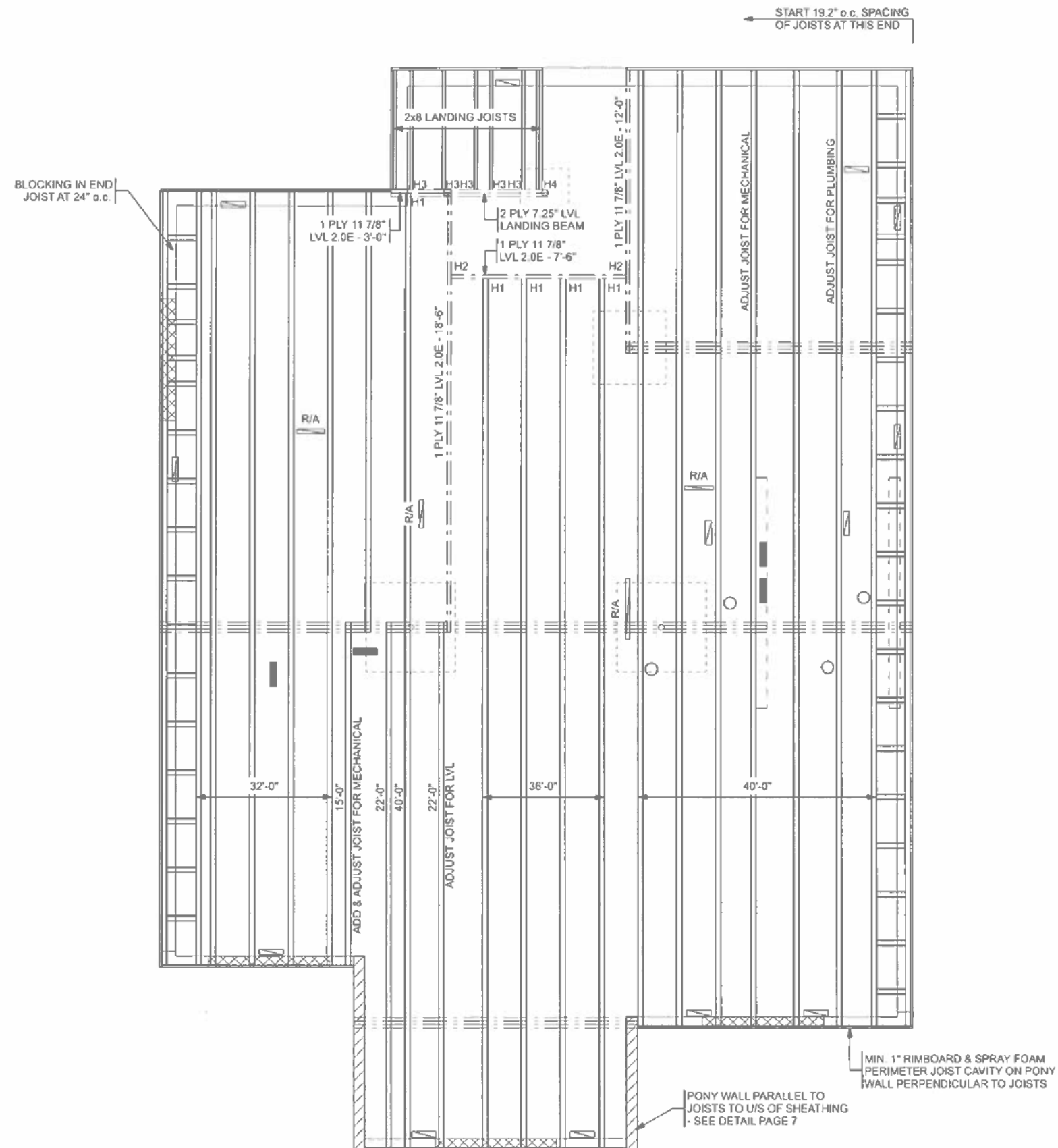
DO NOT SCALE DRAWINGS. REPORT ANY ERRORS OR OMISSIONS TO OWNER BEFORE PROCEEDING.



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MAH RESIDENCE
1205 SPADINA CRESCENT EAST
SASKATOON, SK

SIZE: 1215 SQ FT
DRAWN BY: KJC



FINAL DRAWINGS

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REFER TO PLANS FOR ALL DIMENSIONS.

THIS LAYOUT IS A GUIDE ONLY. CONFIRMATION OF ALL QUANTITIES, LENGTHS AND DETAILS REMAIN THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR.

IT IS THE FRAMERS RESPONSIBILITY TO ENSURE THAT THE JOISTS DO NOT CONFLICT WITH PLUMBING STACKS AND OTHER OPENINGS THROUGH THE FLOOR. ADJUST JOISTS MAXIMUM 2" IF REQUIRED OR ADDITIONAL JOISTS MAY BE REQUIRED.

ALL FLOOR SHEATHING TO BE GLUED AND SCREWED TO FLOOR JOISTS AND BEAMS.

POINT LOADS FROM ABOVE SHALL BE SOLID BLOCKED TO BEARING BELOW.

MINIMUM END BEARING FOR JOISTS SHALL BE 1.75" AND INTERMEDIATE BEARING SHALL BE 3.5" UNO

REFER TO PK INSTALLATION GUIDE FOR ALL CONSTRUCTION DETAILS.

FRAMING MEMBERS

FLOOR JOISTS = 11.875" PK120 I-JOIST
FLOOR GIRDERS = 11.875" LVL 2.0E

* LENGTH AND SPACING AS NOTED ON LAYOUT *

HANGER LIST

H1 LF2511
H2 HUS1.81/10
H3 LUS28
H4 LUS28-2

DESIGN ASSUMPTIONS

SHEATHING MATERIAL	3/4" OSB
CEILING MATERIAL	NONE
CEILING STRAPS	NONE
BRIDGING MATERIAL	NONE
NUMBER OF ROWS	NONE

INCLUDES CCMC VIBRATION CHECK

LIVE LOAD	40 PSF
DEAD LOAD	15 PSF
TOTAL LOAD	55 PSF

LIVE LOAD DEFLECTION	L/480
TOTAL DEFLECTION	L/240



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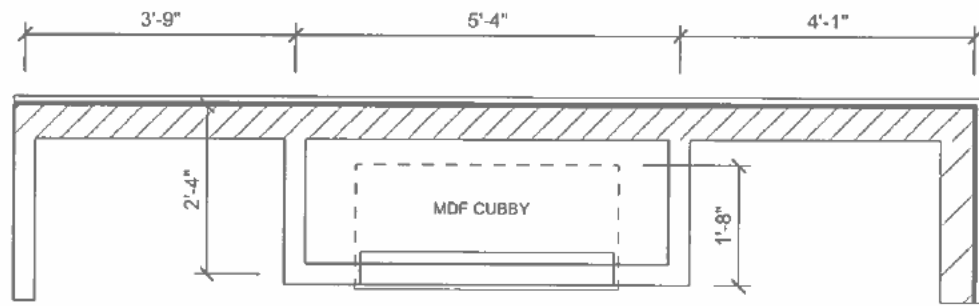
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SIZE: 1215 SQ FT

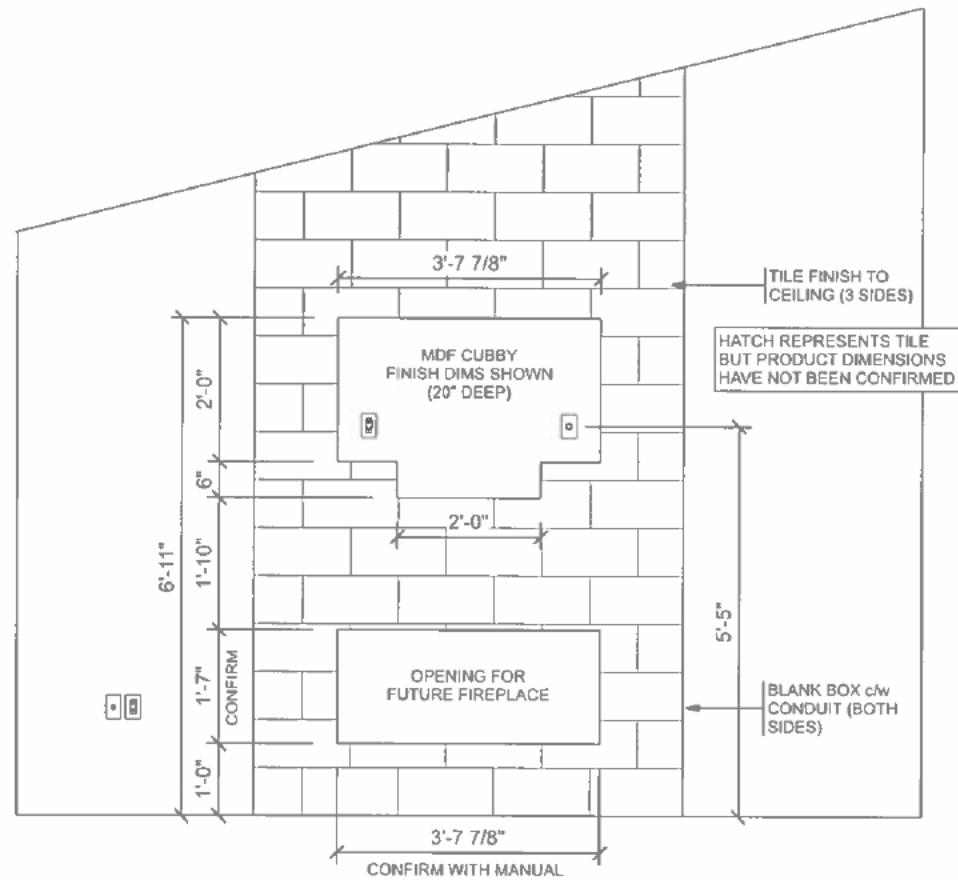
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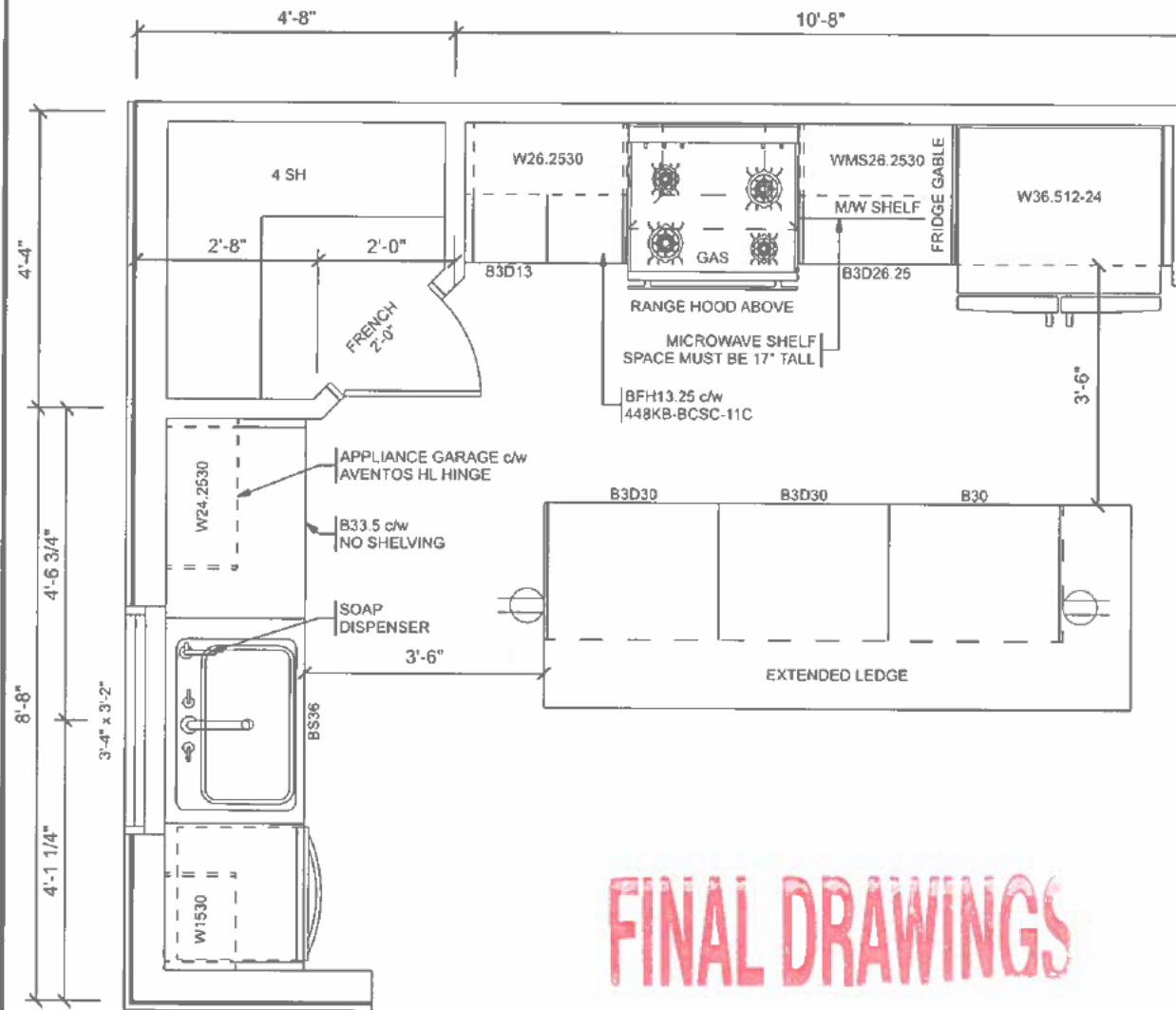
FLOOR JOIST LAYOUT
SCALE: 3/16" = 1'-0"



FIREPLACE PLAN



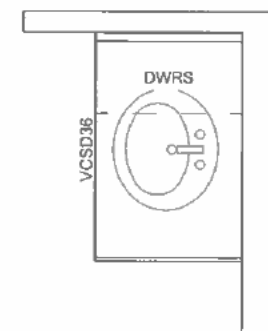
FIREPLACE ELEVATION



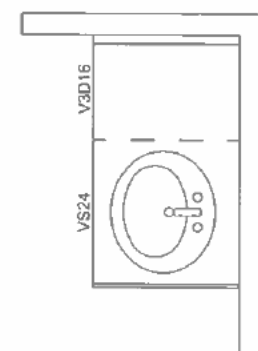
KITCHEN

TILE BACKSPLASH

APPLIANCE GARAGE DOOR c/w AUTO SHUT OFF FOR POWER WHEN DOOR IS CLOSED

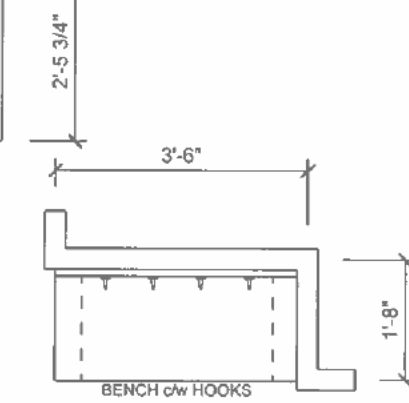


MAIN BATHROOM

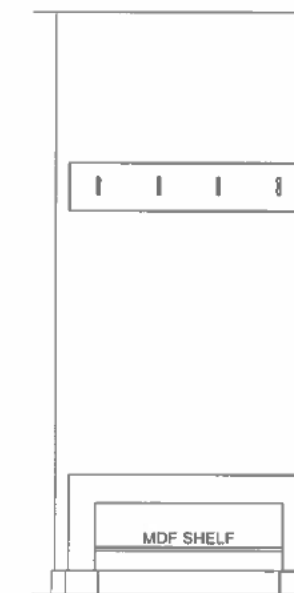


ENSUITE

CABINET LAYOUT
SCALE: 3/8" = 1'-0"

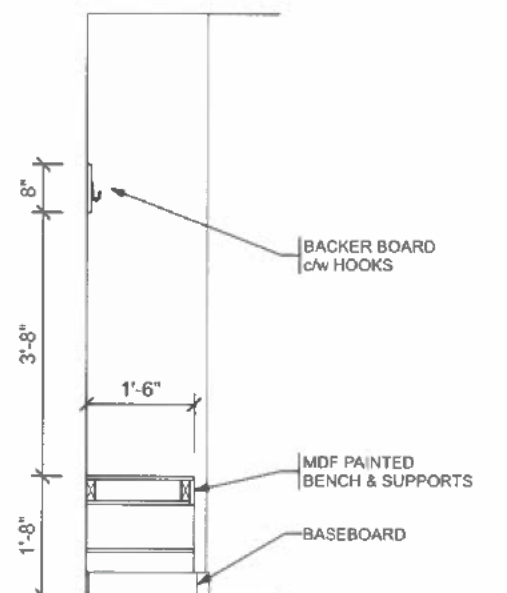


PLAN VIEW



ELEVATION VIEW

BENCH DETAIL
SCALE: 3/8" = 1'-0"



MDF BENCH SECTION
- 3.5" (2x4) FRAMED BENCH COVERED IN 5/8" MDF
- 8" BACKER BOARD c/w HOOKS - NO SHELF
- OPEN BELOW (MAX SPAN 5' WITHOUT SUPPORT)

REFER TO PRODUCTION SCHEDULE FOR FINISH DOOR STYLE, MOULDINGS AND ALL ACCESSORIES.

SOFTCLOSE DOORS & DRAWERS THROUGHOUT.



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MAH RESIDENCE
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SASKATOON, SK

WH PROJECT: S2426

REVISION: S2426-6

13-Feb-2025

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