

# BYLAW NO. 9823

## The Zoning Amendment Bylaw, 2022 (No.10)

The Council of the City of Saskatoon enacts:

### Short Title

1. This Bylaw may be cited as *The Zoning Amendment Bylaw, 2022 (No.10)*.

### Purpose

2. The purpose of this Bylaw is to amend the Zoning Bylaw to ensure new infill development does not detract from the character of the neighbourhood and balances demand for contemporary housing with the existing built form.

### Zoning Bylaw Amended

3. The Zoning Bylaw No. 8770 is amended in the manner set forth in this Bylaw.

### Section 5.0 Amended

4. (1) Subsection 5.44 is repealed and replaced with the following:

#### **“5.44 Primary Dwellings in Established Neighbourhoods**

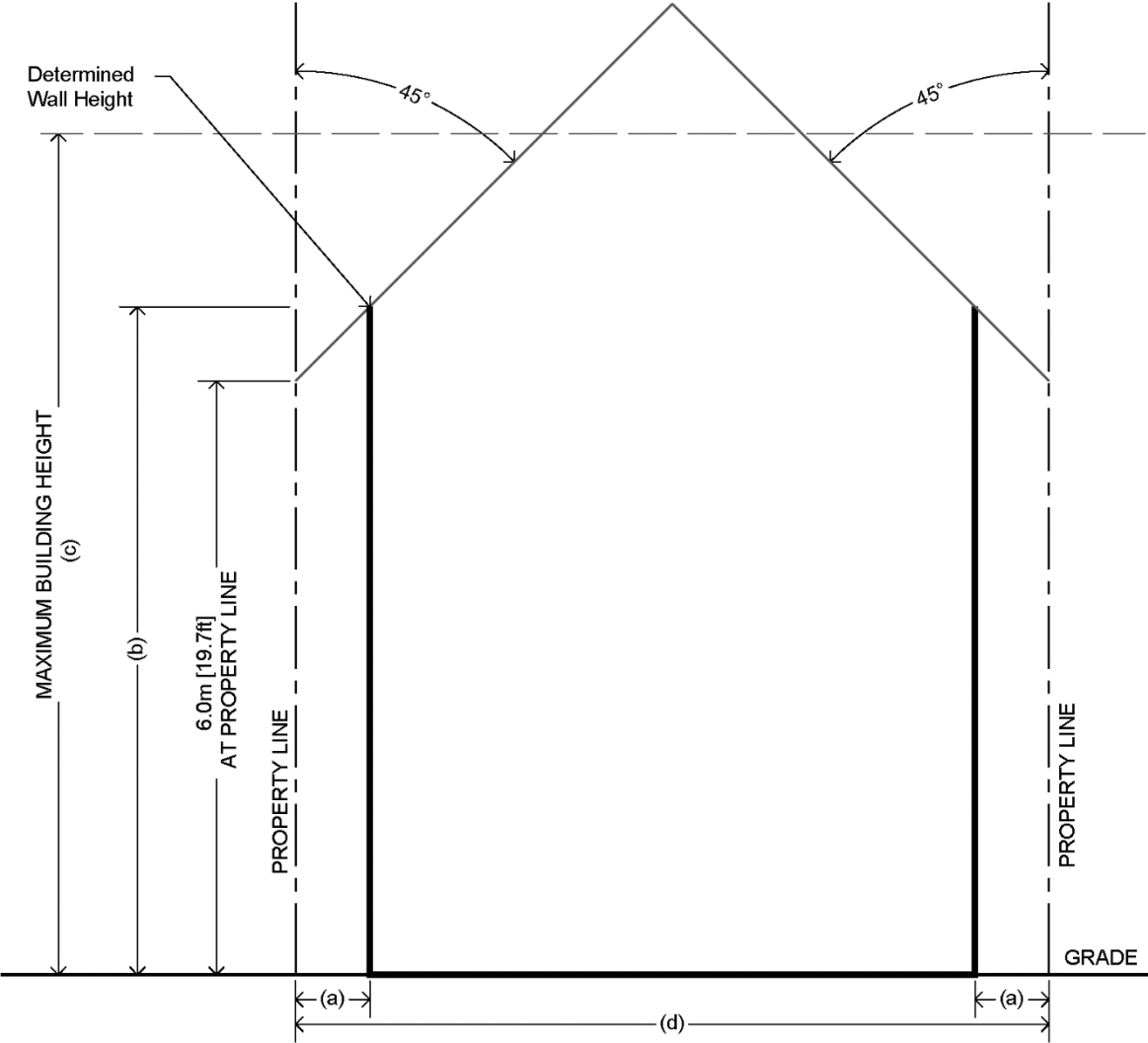
- (1) Allowable sidewall area for primary dwellings is calculated by multiplying building height and wall length, as illustrated in Figure 5.44(c), which will be determined as follows:
  - (a) building wall height calculation, as illustrated in Figure 5.44(a):
    - (i) the wall height is determined by a 45 degree angular plane, measured from a height of 6 metres, projecting vertically from the side property line; and
    - (ii) the allowable wall height is determined where the building setback intersects the 45 degree angular plane;

- (b) building wall length calculation:
    - (i) for sites 40 metres or less in depth, the maximum is 14 metres; and
    - (ii) for sites greater than 40 metres in depth, the wall length is determined by: site depth x 50% - required front yard setback;
  - (c) the calculation will include:
    - (i) all portions of the sidewall located above the average finished grade and the highest (uppermost) roof structure except where otherwise noted; and
    - (ii) dormers facing the sidewall as illustrated in Figure 5.44(f);
  - (d) the calculation will exclude:
    - (i) gable end walls associated with the primary roof structure, as illustrated in Figure 5.44(d);
    - (ii) portions of the sidewall with a sideyard setback of at least 2.4 metres, as illustrated in Figure 5.44(e); and
    - (iii) on a corner site, the sidewall flanking a street;
- (2) Flat roof primary dwellings:
- (a) the wall height for flat roof primary dwellings is determined by a 45 degree angular plane, measured from a height of 6 metres, projecting vertically from the side property line, as illustrated in Figure 5.44(b). The maximum wall height is determined where the building setback intersects the 45 degree angular plane. Wall height is measured as an average of the lowest and highest points of the wall. The resulting wall height may be increased provided that the dwelling is setback further from the side property line;

- (b) any portion of sidewalls above the maximum height must have a minimum setback of 1.2 metres from the sidewall of the dwelling and shall not exceed a maximum height of 8.5 metres; and
  - (c) the allowable sidewall area provisions apply to flat roofed primary dwellings.
- (3) The bottom or sill of an entrance facing the front yard of a primary dwelling in category 1 neighbourhood shall not be located more than 1.3 metres above the finished grade.

**Illustration to Determine Wall Height**

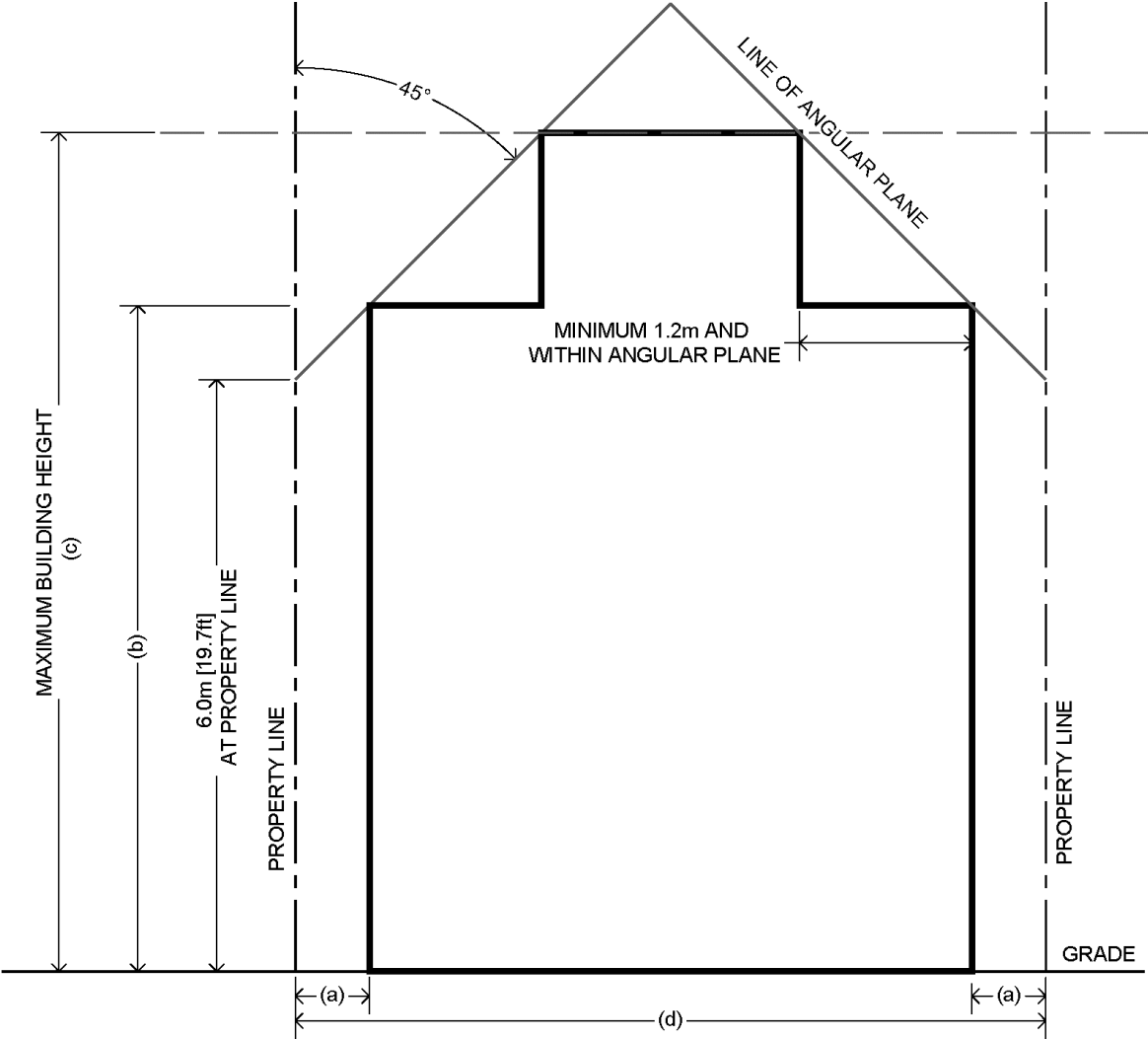
Figure 5.44(a)



- a = Side yard setback
- b = Building wall height
- c = Maximum building height
- d = Width of primary dwelling

Illustration of Flat Roof Primary Dwelling

Figure 5.44(b)



- a = Side yard setback
- b = Building wall height
- c = Maximum building height
- d = Width of primary dwelling

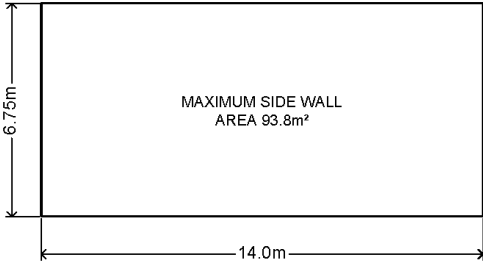
### Example of Allowable Side Wall Area

Figure 5.44(c)

#### ALLOWABLE SIDE WALL AREA CALCULATION

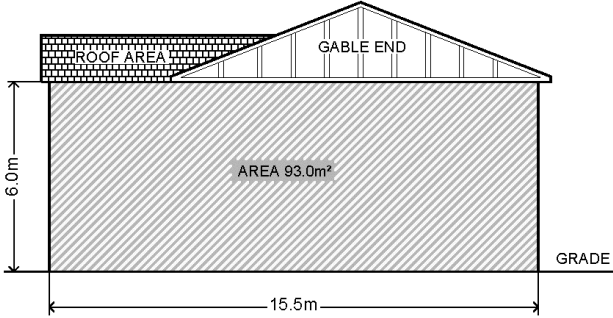
Site Length: 40m  
Side Yard Setback: 0.75m  
Allowable Side Wall Height: 6.75m

$14.0m \times 6.75m = 94.5m^2$



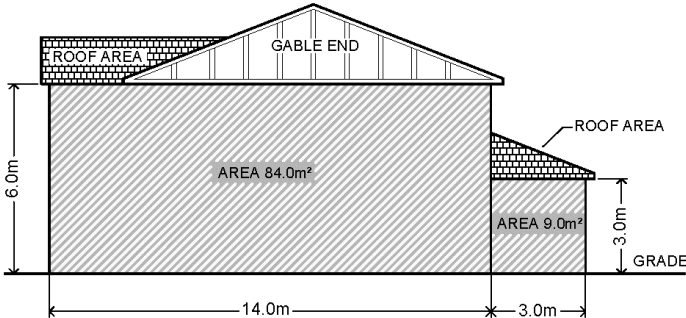
#### ALLOWABLE SIDE WALL AREA EXAMPLE 1

$15.5m \times 6.0m = 93.0m^2$



#### ALLOWABLE SIDE WALL AREA EXAMPLE 2

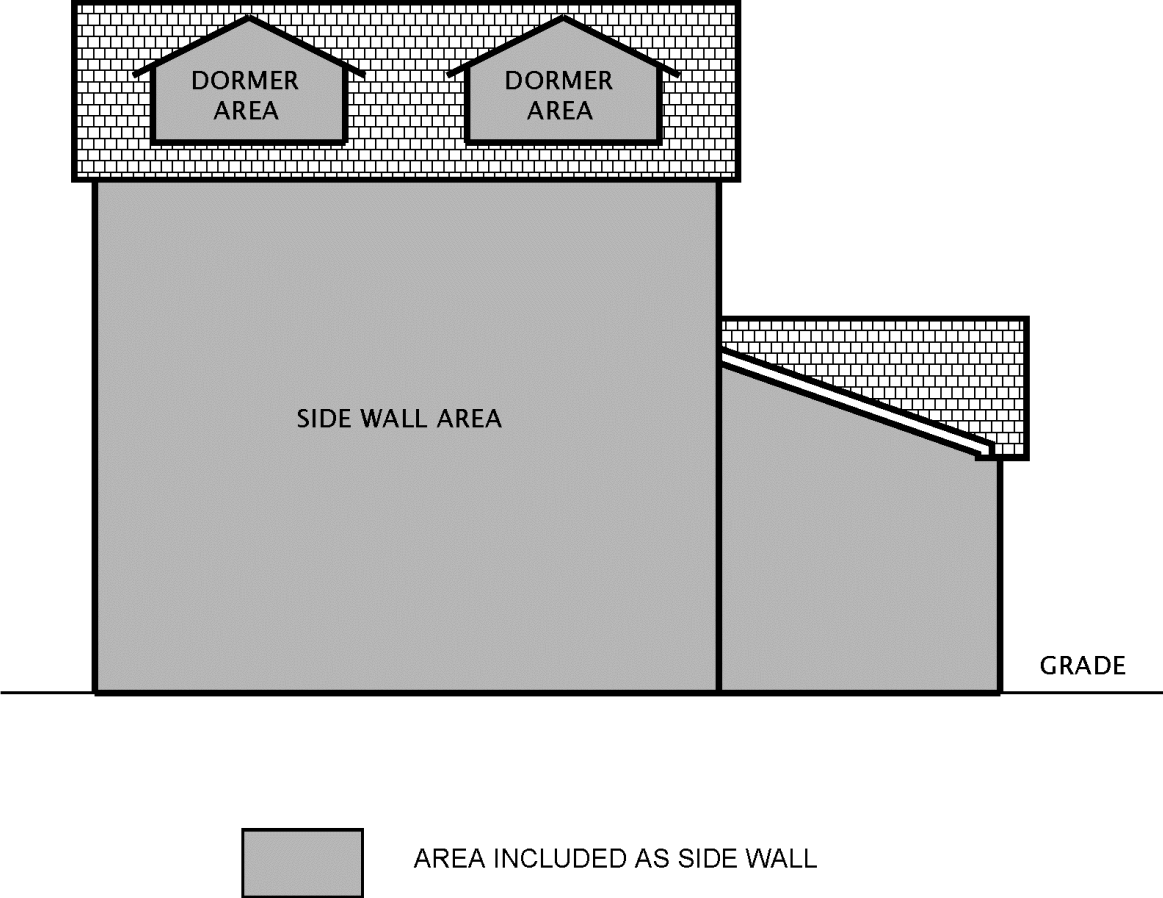
$(6.0m \times 14.0m) + (3.0m \times 3.0m) = 93.0m^2$



 SIDE WALL AREA WITHIN ALLOWABLE BOUNDARY

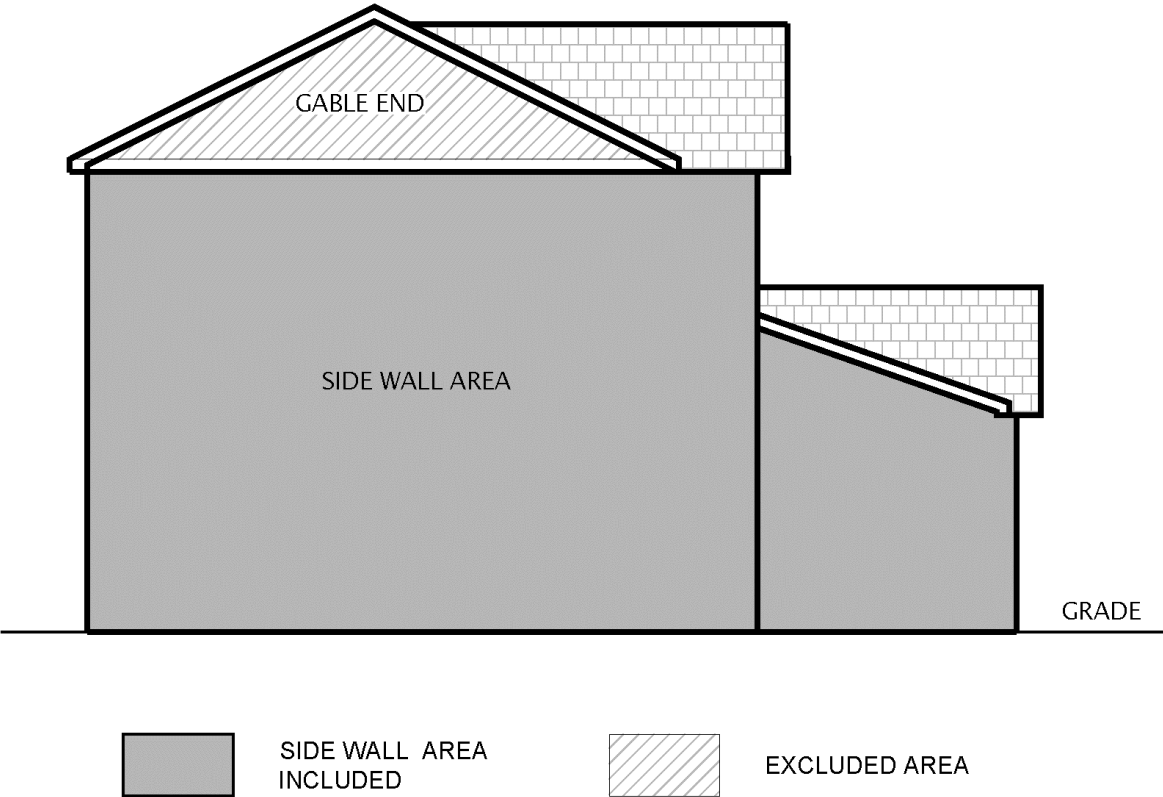
**Example of Allowable Side Wall Area -  
Inclusion of Dormers**

Figure 5.44(d)



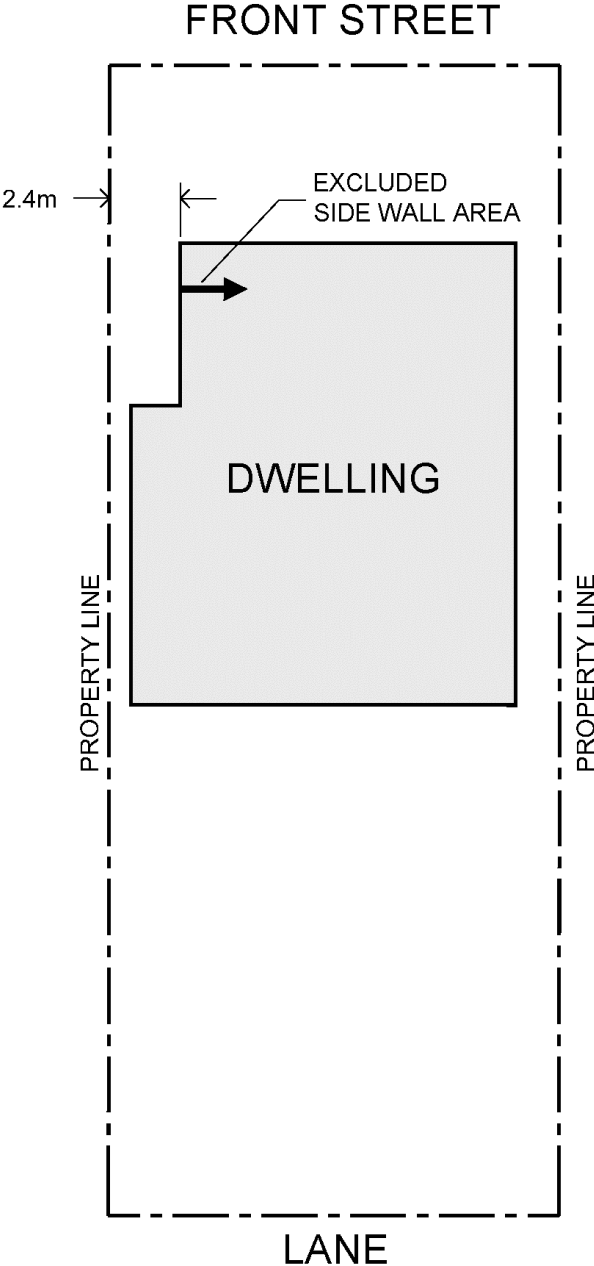
**Example of Allowable Side Wall Area -  
Exclusion of Gable End Wall**

Figure 5.44(e)





**Example of Allowable Side Wall Area - Side Wall Setback**  
2.4 metres or Greater are Excluded from the Allowable Side Wall Area Figure 5.44(f)



N:\Planning\MAPPING\Wall\_Maps\Zoning\_Map\Zoning Bylaw\Figure 5.44(f)\_Excluded Side Wall Area.dwg

