

COMMUNITY SERVICES DEPARTMENT



2020

Planning & Development

YEAR-END REPORT



WELCOME

Welcome to the 2020 Annual Report of the Planning and Development Department which highlights some of the important initiatives and projects from the past year and provides a look ahead to 2021.

Planning and Development plays a lead role in guiding growth and development of Saskatoon, through its programs and policies. From broad, city-wide initiatives, such as the Official Community Plan and the Growth Plan to Half a Million, to local projects such as rezoning and discretionary use applications, the work of this Department has a significant impact on the city and its residents. The Planning and Development Department's work primarily supports the Strategic Goals of Sustainable Growth, Moving Around and Quality of Life.

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REGIONAL PLANNING

The Regional Planning Section works collaboratively to enhance partnerships with municipalities, rights-holders and stakeholders in the region, which will help achieve sustainable prosperity and quality of life. Regional Planning also includes the Mapping and Research group that provides geographic information systems (GIS), mapping, and research services and products to departmental, corporate and community clients.

Regional Planning operated in 2020 with a staff complement of 9.5 full-time employee positions consisting of Registered Professional Planners, GIS specialists, and Planning Technologists. One staff person is shared with the Planning Project Services Section.

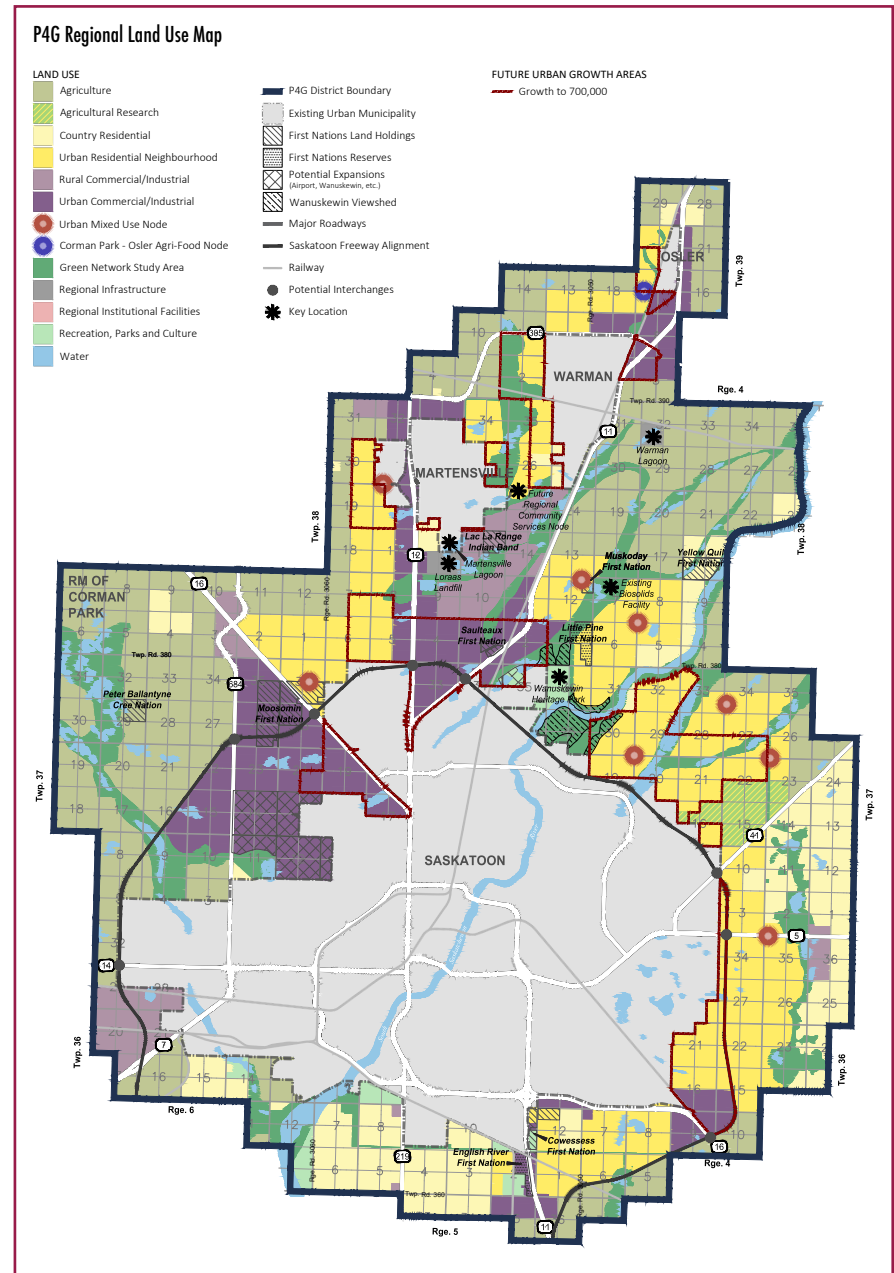
P4G REGIONAL PLAN

The Saskatoon North Partnership for Growth (P4G) is a partnership established in 2014 between the Cities of Saskatoon, Martensville, and Warman, the Town of Osler, and the Rural Municipality (RM) of Corman Park.

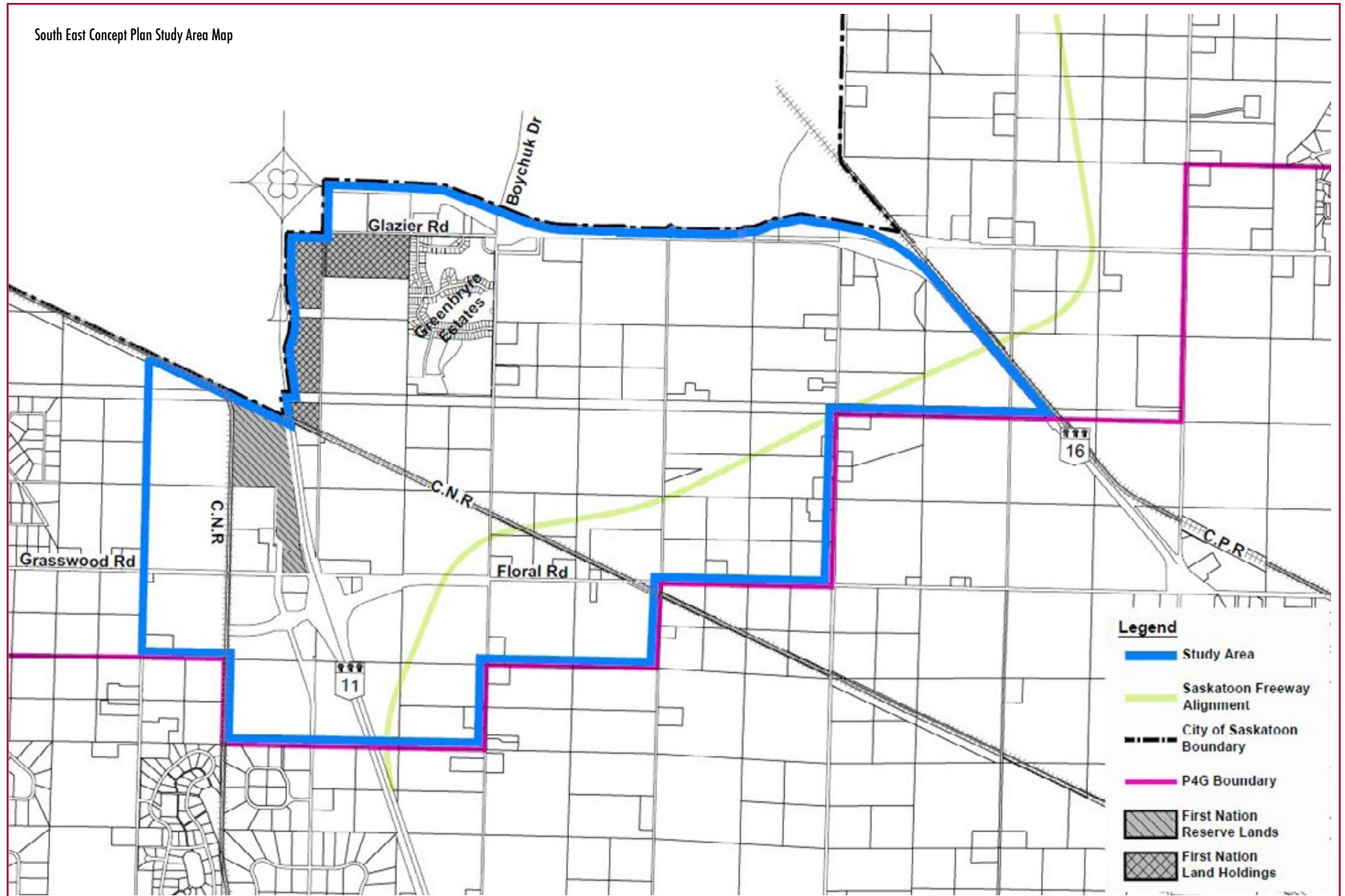
In 2017 the P4G partners' Councils endorsed a Regional Plan, setting the stage for a coordinated approach to planning, development and servicing as the P4G region grows to one million people over the coming decades.

To implement the Regional Plan, a new P4G Planning District is being created; it will replace and enlarge the current Corman Park-Saskatoon Planning District. In September 2020, the P4G partners' Councils jointly approved a P4G District Planning Agreement and a P4G Official Community Plan, which are fundamental to the new P4G Planning District. Work also continued on drafting a P4G Zoning Bylaw, which will implement the P4G Official Community Plan.

P4G engaged the Department's Planning Project Services Section to complete the North Concept Plan, the first of a number of Concept Plans for the P4G region. The North Concept Plan will further define land use and servicing potential in a priority regional growth area north of Saskatoon.



South East Concept Plan Study Area Map



- Legend**
- Study Area
 - Saskatoon Freeway Alignment
 - City of Saskatoon Boundary
 - P4G Boundary
 - First Nation Reserve Lands
 - First Nation Land Holdings

The RM of Corman Park and the City, with Provincial support, are hiring a consultant to complete a South East Concept Plan for their growth areas south of Saskatoon between Highways 11 and 16, including the Grasswood commercial area. English River First Nation and Cowessess First Nation, who have lands in the study area, will participate on the project Steering Committee.

P4G engaged Sustainability to complete a Natural Areas Screening for the northern part of the region's Green Network to identify wetlands, significant wildlife and plant species, and important heritage resources. This work will guide land use plans and development decisions.

Further information is available on the P4G website at partnershipforgrowth.ca.

LOOKING AHEAD TO 2021

- The next year will be particularly important for the P4G partners as they create the P4G Planning District and continue joint projects to implement the P4G Regional Plan. The P4G Planning District is expected to be established in mid-2021, after the P4G Zoning Bylaw has been completed. The North Concept Plan and the South East Concept Plan are scheduled for completion in 2021 and early 2022, respectively. A Drainage Study is also planned, which will guide further land use and servicing plans in a significant part of the P4G region.

CORMAN PARK–SASKATOON PLANNING DISTRICT

The Corman Park-Saskatoon Planning District is a long-standing partnership between the City and the RM of Corman Park. Since 1956, the RM and the City have jointly managed land use and development in the area surrounding City limits.

In 2020, Regional Planning processed 25 development application referrals from the RM and the Province in the Planning District. The referrals consisted of proposed residential, commercial and industrial rezonings, subdivisions, and discretionary uses, including several multi-lot proposals.

LOOKING AHEAD TO 2021

- Development applications in the Corman Park-Saskatoon Planning District continue while work to establish the P4G Planning District is underway. A transition strategy will be created once the P4G Planning District is nearing final approval.

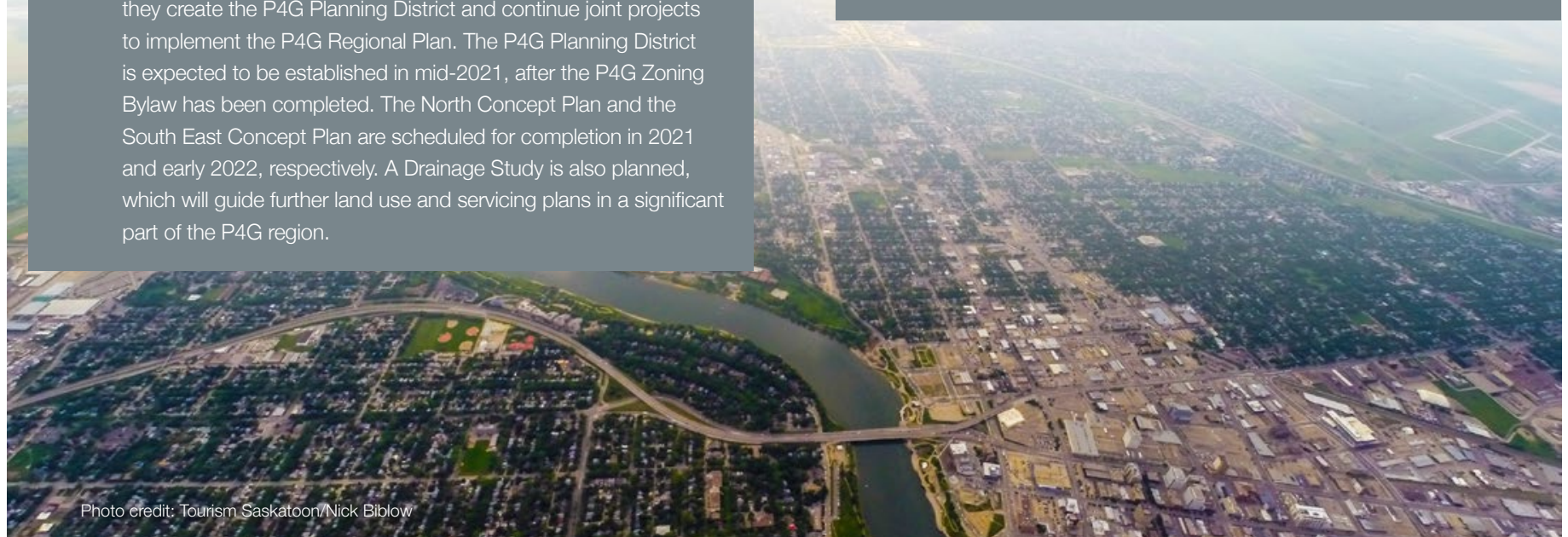



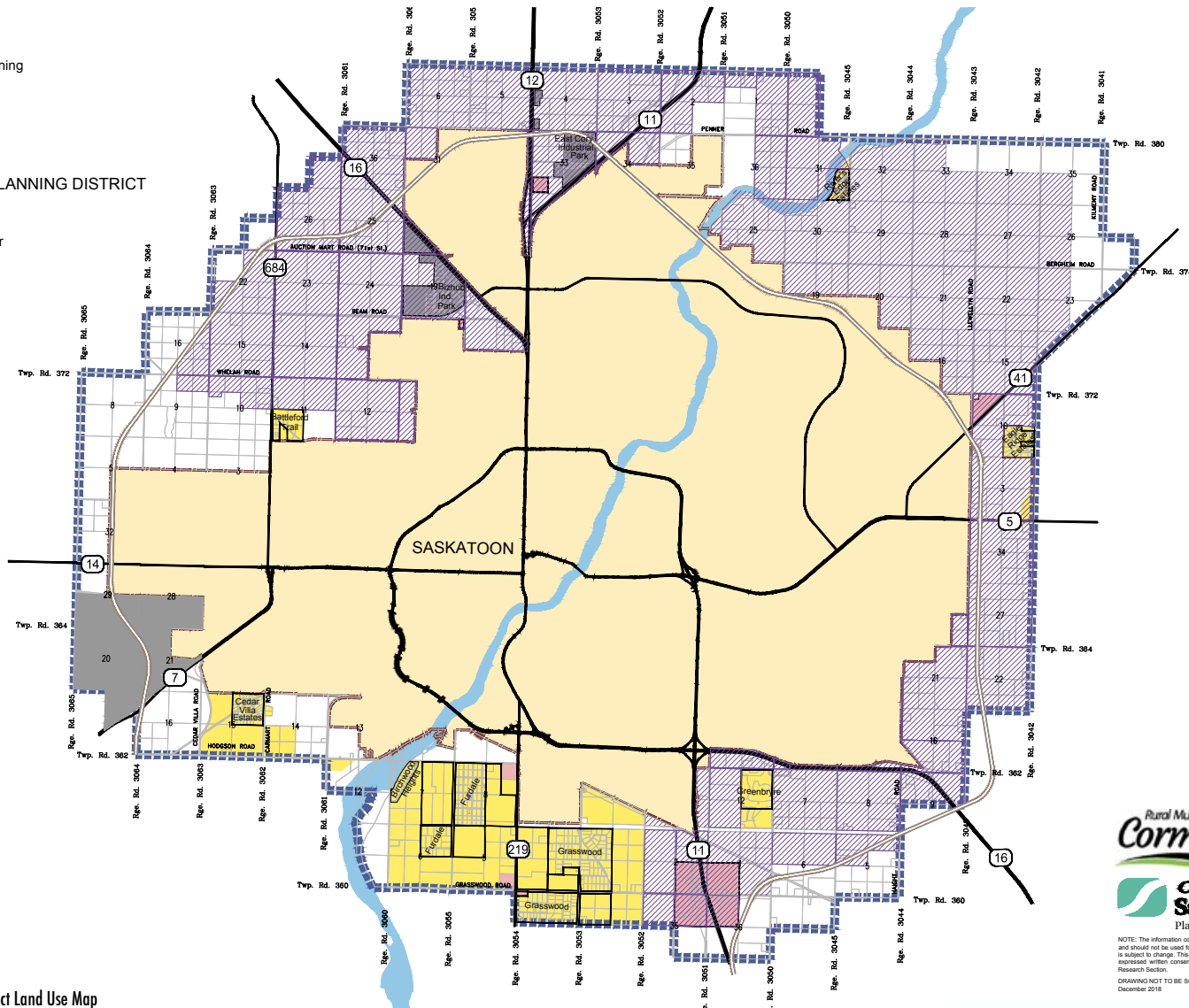


Photo credit: Tourism Saskatoon/Nick Biblow

-  Corman Park - Saskatoon Planning District Boundary
-  Saskatoon Freeway Alignment
-  City of Saskatoon Boundary

**CORMAN PARK SASKATOON PLANNING DISTRICT
Future Land Use Map**

-  Saskatoon Future Growth Sector
-  Residential Areas
-  Commercial Areas
-  Industrial Areas



Corman Park - Saskatoon Planning District Land Use Map



NOTE: The information contained on this map is for reference only and should not be used for legal purposes. All proposed line work is subject to change. This map may not be reproduced without the expressed written consent of the Regional Planning, Mapping & Research Section.
DRAWING NOT TO BE SCALED
December 2018

INDIGENOUS PARTNERSHIPS AND INCLUSION

Regional Planning continues to work to enhance relationships with First Nations and Indigenous organizations, through a variety of initiatives intended to broaden the understanding and knowledge of Indigenous history and the role culture plays in building successful relationships. Regional Planning continues to provide support to First Nations seeking to purchase and develop land in Saskatoon and in the surrounding region. The Team also provides support internally for incorporating diversity, equity and inclusion into planning policy and practice, as well as other corporate initiatives.

The City partners with First Nations who have purchased land in Saskatoon to publish Community Profiles. The Community Profiles are intended to encourage new relationships with First Nations and promote economic opportunity. The City worked with First Nations who purchased land in 2020 to create new Community Profiles. saskatoon.ca/business-development/planning/regional-planning/urban-reserves-treaty-land-entitlement

LOOKING AHEAD TO 2021

- A Developers' Handbook is scheduled for release in 2021. The Developers' Handbook is intended to assist prospective developers, including First Nations, in navigating the urban land development process. The Developers' Handbook will be promoted to those interested in land development in Saskatoon or considering purchasing land in Saskatoon.

MAPPING AND RESEARCH

The Mapping and Research group undertakes key land use planning, strategic planning, and demographic and quality of life research for the City. It produces the Saskatoon Strategic Trends report, provides population estimates and regular population projections, assists with developing and measuring the Corporate

Performance Targets, assists with creating and maintaining the central Data Directory for corporate monitoring, and develops customized information to support policy and programming. It also collaborates with partners in other agencies such as the Saskatchewan Health Authority and the University of Saskatchewan, in the development of key strategic information sources and analyses.

The Mapping and Research group also provides mapping and specialized geographic information system (GIS) services and plays a key role in developing and maintaining corporate information through the City's Site Database. Mapping services are provided to the **Department** and include neighbourhood planning, sector and concept planning, subdivisions, and civic addressing. Mapping services are also provided on a fee-for-service basis to other corporate units such as Saskatoon Fire, Saskatoon Transit, Water & Waste Operations, and external customers.

COMMUNITY UNIVERSITY INSTITUTE FOR SOCIAL RESEARCH

The City is a partner in the Community University Institute for Social Research (CUISR), which facilitates partnerships between the University of Saskatchewan and the community to conduct relevant social research. In 2019 CUISR was a partner in a Social Sciences and Humanities Research Council Partnership Grant to develop a full grant application focused on evaluating affordable housing programs. Work on this grant enters year 2 of a five year project.

COMMUNITYVIEW COLLABORATION

The City is a partner in the CommunityView Collaboration (CVC) along with the Saskatchewan Health Authority, Saskatoon Public Schools, Greater Saskatoon Catholic Schools, the Saskatoon Police Service and the University of Saskatchewan. The CVC website shares community data and provides tools for use of the data by the community. City staff coordinate the CVC by organizing data acquisition, training and support for the community. In 2020, the mapping engine for CVC was renewed, mapping capability was extended to individual "CommunityViews" and data for over 100 municipalities in the Saskatoon Area were shared.

MAPPING

Mapping and GIS products in 2020 included:

- P4G: District OCP (Plan Area, Land Use, Future Urban Growth Areas), District Zoning Bylaw, North Concept Plan
- Long Range Planning: OCP Redesign, University Sector Plan, Concept Plan Guidelines, Growth Monitoring Report
- Project Planning: Rail Setbacks, Corridor Planning
- Development Review: rezonings, subdivisions and discretionary uses, development appeals, proposed street/park names, City Centre Plan, Concept Plan amendments, Development Permit maps, Infill Study, Airport Zoning Regulations
- Assessors: Commercial and Multi-family Assessment Maps; Retail, Warehouse, and Office Market Areas
- Saskatoon Fire Department: Inspection Districts, Response Mapping, Multi-Unit Map Book, Training Facility
- Neighbourhood Planning: Crime Prevention Through Environmental Design (CPTED) – crime maps, Vacant Land
- Business License: Cannabis location analysis maps
- City Clerk's Office: Election Maps
- Saskatoon Transit: Route Maps, Route Schedule Posters, Jingle Bell Map
- Sustainability: Green Infrastructure Strategy and Wetland Inventory
- Water & Waste Operations: Waste and Green Bin pick-up maps
- Community Standards: Residential Parking Permit maps
- Recreation & Community Development: Off-Leash Area Bylaw maps
- External: Postal Code data, Direct West Maps, School Board Maps

LOOKING AHEAD TO 2021

- The Mapping and Research group will be updating the City of Saskatoon Population Projection Report to forecast the population from 2018-2038. This report assists with policy development, long range planning, and forecasting future municipal servicing needs and land acquisition. In addition, population projections are a useful planning tool for community agencies.
- In partnership with CUISR, the Mapping and Research group will be participating in the Point-in-Time Homeless Count scheduled for May (subject to COVID-19 implications). CUISR has previously been the research partner for the homelessness survey and count in 2008, 2012, 2015 and 2018. The Homeless Counts are a collaboration bringing together community organizations concerned with housing and homelessness issues to gather data on the scope of homelessness in Saskatoon.

LONG RANGE PLANNING

The Long Range Planning Section leads planning and policy development initiatives that are city-wide or long-range in nature. This includes three major streams of activities:

- Stewardship of the City's Official Community Plan;
- Development of Sector Plans for growth areas; and
- Development and maintenance of the Growth Monitoring Report.

In addition, Long Range Planning provides support and leadership for a variety of city-wide or long-term strategies or initiatives related to the implementation of the Official Community Plan. This has included contributing to the development of the Green Infrastructure Strategy, the development of Natural Area Standards, Concept Plan Guidelines, an engagement initiative for utilities and land authorities involved in land development, as well as support for the implementation of various City policies.

In order to effectively plan for the long-term or across the entire city, the involvement of many civic departments, external stakeholders and the community are required. This integrated planning approach is vital to the successful development of policy, plans and initiatives that have substantial and positive impacts.

The Long Range Planning Section also acts as the City's administrative liaison with the Meewasin Valley Authority with respect to planning and development issues. This includes the review and processing of development or facility upgrade proposals, including development as part of the Northeast Swale Master Plan.

Long Range Planning operated with a staff of 5 employees in 2020, all of which are Registered Professional Planners.

OFFICIAL COMMUNITY PLAN STEWARDSHIP

The Official Community Plan (OCP) provides the policy framework to define, direct and evaluate development in the City of Saskatoon. The OCP ensures that development takes place in an orderly and rational manner, balancing the environmental, social and economic needs of the community. All other plans related to land use and development are secondary to the OCP.

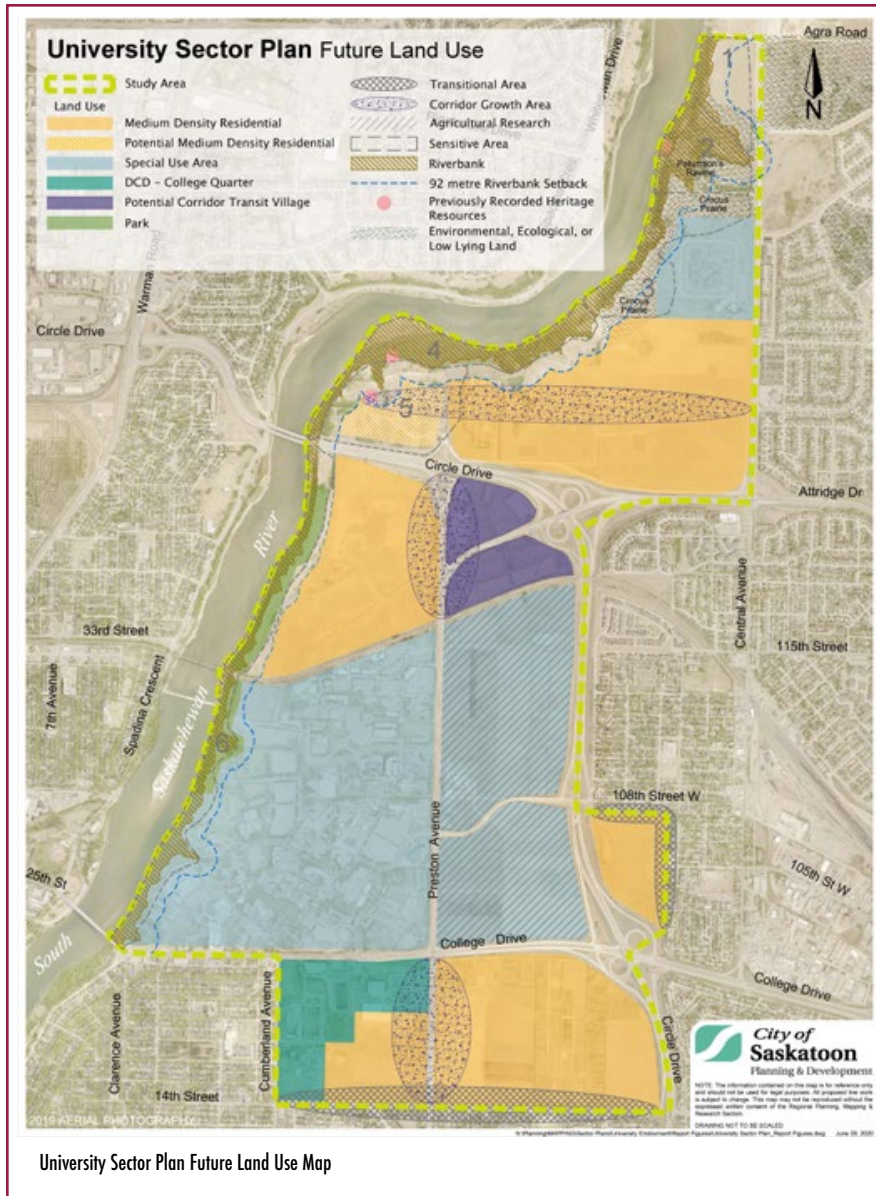


In June, Council unanimously approved [Bylaw No. 9700, The Official Community Plan Bylaw, 2020](#). This was followed by ministerial approval from the Province of Saskatchewan in August. The new OCP is intended to serve the dual function of ensuring the current vision of the City is reflected while incorporating a new more user-friendly design. The OCP works in conjunction with the City's Strategic Plan and Business Plan and Budgeting process to create a strategic framework for how priorities are set and how the City achieves its goals.

UNIVERSITY SECTOR PLAN

The University of Saskatchewan land holdings, known as the 'endowment lands', encompass nearly 1,000 acres of land in the heart of the city, situated along the South Saskatchewan riverbank and less than 5 kilometres from Downtown Saskatoon. The University's Vision 2057 plan, completed in 2009, outlines their land needs for future academic and research purposes that will remain centrally located within the city, as well as identifying the endowment lands available for potential development.

The City's Official Community Plan, Plan for Growth, and Strategic Plan all identify



University Sector Plan Future Land Use Map

a long-term strategy to increase and encourage development in existing areas of the city. The University's endowment lands are amongst the most significant locations for Saskatoon's growth over the next few decades.

Since 2018, the City and the University have worked together, in partnership, developing the University Sector Plan. The intent of the University Sector Plan is to provide sufficient direction on high-level strategies so that the landowner (the University) can proceed with further detailed planning. In 2020, the development of the Sector Plan was substantially completed, and will move to formal approval steps in early 2021.

BLAIRMORE SECTOR PLAN AMENDMENT

The current Blairmore Sector Plan was approved by City Council on March 7, 2011. Since that time, new development and new development pressures have been experienced in the area. In 2020, initial work began on a project to amend the Sector Plan. This includes a review of the current Sector Plan alongside the updated OCP and other new or amended City policies, bylaws and plans, as well initial work to identify updates needed to bring the Sector Plan into alignment with them.

The amendment is intended to address three main themes: adjusting boundaries of the Plan area to provide a comprehensive framework for the entire area; addressing future use and management of the various natural areas included in the Sector; and responding to market changes and other factors to appropriately plan for future land use in the area. Work on the amendment, including community engagement will continue through 2021.

GROWTH MONITORING REPORT

The Growth Monitoring Report includes general demographic changes and statistical information on how the city is growing, information on planned servicing of residential, commercial, and industrial lands, as well as information on existing and potential infill development projects in the city. The report provides data that will help monitor progress towards policy goals, plan servicing needs, and inform policy and program reviews.

The report includes the following:

- Summary of City of Saskatoon Guiding Documents and Targets
- Listing of Key Indicators
- Review of Market Demand Profiles
- Builder and Developer Inventory Levels and Housing Market Assessment
- Market Absorption and New Neighbourhood Build-out Time Frames
- Inventory of Infill Opportunities on Lands owned by the City
- Planned Servicing Schedules for 2021 through 2023.



The 2020 report was presented to the Standing Policy Committee on Planning, Development and Community Services in September 2020.

POLICY REVIEW AND RESEARCH

A number of research and policy review items were addressed in 2020:

- Progress was made on the development of a guidebook outlining the preparation of submissions and requirements for Concept Plans.
- As part of the Green Infrastructure Strategy, a draft Natural Area Standards and Guidelines document was created to help guide development around natural areas.
- Support was provided for the Neighbourhood Boundary Study, including research of relevant policies and legislation to provide an overview of the current practice for setting and altering neighbourhood boundaries.

LOOKING AHEAD TO 2021

- In the second phase of the OCP Redesign Project, a process is being established for tracking work and decisions that may inspire future amendments to the OCP. The OCP needs to keep pace with policy directions adopted by Council as such amendments and updates will occur on an ongoing basis.
- The University Sector Plan will be completed and brought forward for approval by both City Council and the University's Board of Governors in the first half of 2021.
- Long Range Planning will draft the 2021 Growth Monitoring Report, including additional metrics related to the City's overall development goals.
- The new Concept Plan Guidelines will be completed in the first half of 2021.
- The Blairmore Sector Plan Amendment will be underway and will include various engagement activities during the process.
- Work will begin on reviewing and refining the Planning Levy to ensure it continues to support Saskatoon's planning needs.
- Work will continue to refine the Sector Plan Guidelines with further internal and external review.
- Work will begin on an amendment to the Riel Sector Plan.
- Work will begin on development a framework to assess commercial and industrial land demand in Saskatoon.

PLANNING PROJECT SERVICES

The Planning Project Services Section functions as an internal service provider to lead and support delivery of community planning and development projects on behalf of the Planning and Development Department using project management best practices. This enables flexibility in how the Department can deliver on a broad range of projects.

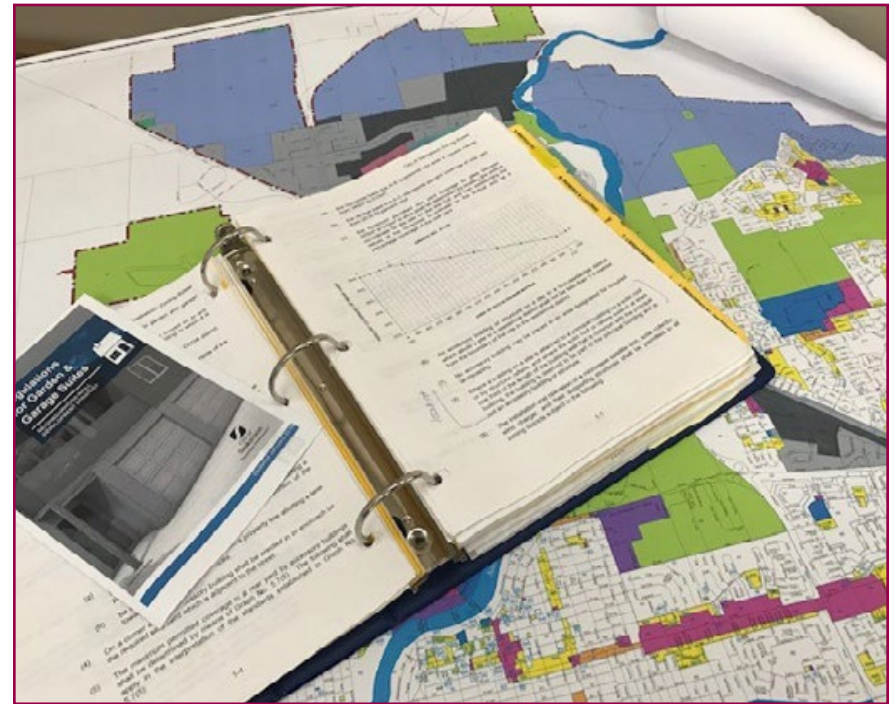
Planning Project Services is responsible for delivering or supporting the delivery of the following projects:

| | | |
|--|---|------|
|  | Zoning Bylaw Review | Lead |
|  | Corridor Planning Program | Lead |
|  | Saskatoon North Partnership for Growth (P4G) – North Concept Plan | Lead |
|  | Civic Conservatory Conceptual Programming and Design | Lead |
|  | Winter City Strategy (WintercityYXE) | Lead |

COMPREHENSIVE REVIEW OF THE ZONING BYLAW

The City of Saskatoon is currently undertaking a comprehensive review of the Zoning Bylaw. The Project began in 2019 and is anticipated to be completed in 2022. The Project will bring the Zoning Bylaw into alignment with the relevant strategies and plans, reflect community values, ensure industry needs are being met and provide guidance and support to City Administration in the development of new and amended regulations to support city growth.

A number of proposed Zoning Bylaw amendments have been identified including business-friendly and economic development initiatives, environmental initiatives,



other current trends in planning, and legislative requirements. Identified amendments will also align the Bylaw with other strategic initiatives including the Plan for Growth, the Culture Plan, the Regional Plan and the new Official Community Plan.

Project achievements for 2020 are:

- On May 25, 2020, the first round of amendments was approved by City Council. Amendments included new regulations; amendments specific to Section 6: Required Parking, Loading and Vehicular Circulation Provisions; regulations for municipal public works yards; and, housekeeping amendments.
- The Project team has been working with development and building industry representatives to develop refinements for the RMTN and RMTN1 Districts.



- The Development Applications Fee Bylaw was approved on November 30, 2020. The new Development Applications Fee Bylaw consolidates all fees from the Zoning Bylaw, Subdivision Bylaw and Condominium Approvals Policy into one Bylaw.

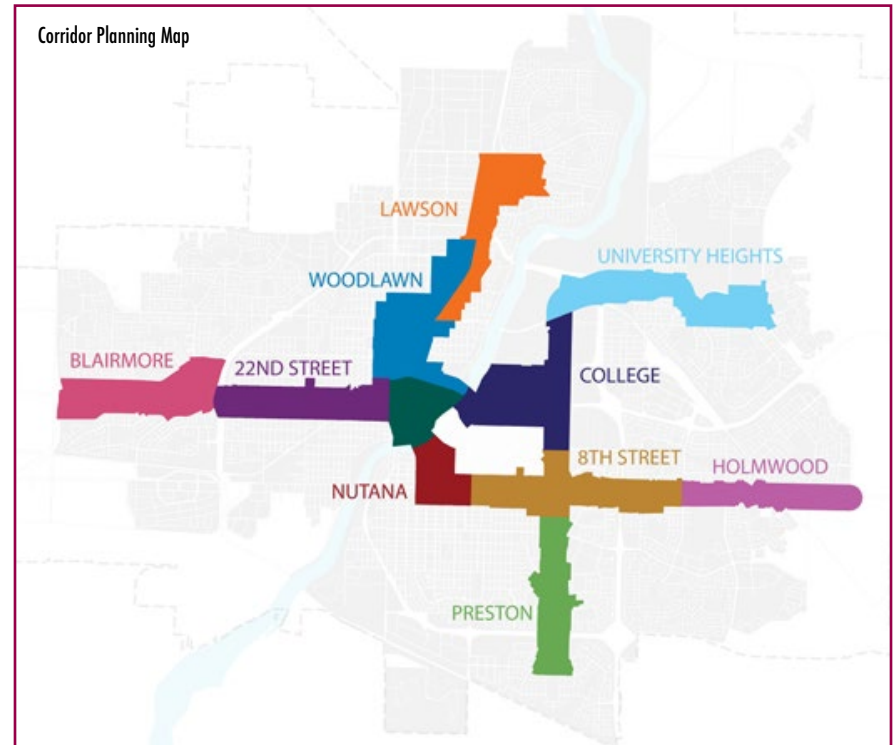
Left: Example from City of Saskatoon Zoning Map

CORRIDOR GROWTH

In January of 2020 the Corridor Transformation Plan and the Transit Villages Report were endorsed by Council. These are long term visionary plans that identify opportunities and methods for implementing the Corridor Growth Objectives.

As of June, the newly endorsed Official Community Plan included new land use designations to support growth and development within the Corridor Growth Area. Currently the project team is working with partners and stakeholders to develop new draft zoning districts to align with the Corridor Growth Area land use designations. The implementation of the land use designations and zoning districts will be part of a Corridor Plan. The technical and engagement process for each Corridor Plan is currently being developed and will be ready prior to the initiation of the first Corridor Plan in 2021.

The Corridor Planning Program will be creating and implementing Corridor Plans for 10 segment areas within the Corridor Growth Area. To prioritize the segment



areas, an evaluation process was developed which ranks these segments based on a list of criteria. The highest scoring segment and the location for the first Corridor Plan will be the College segment, followed by the Nutana segment.

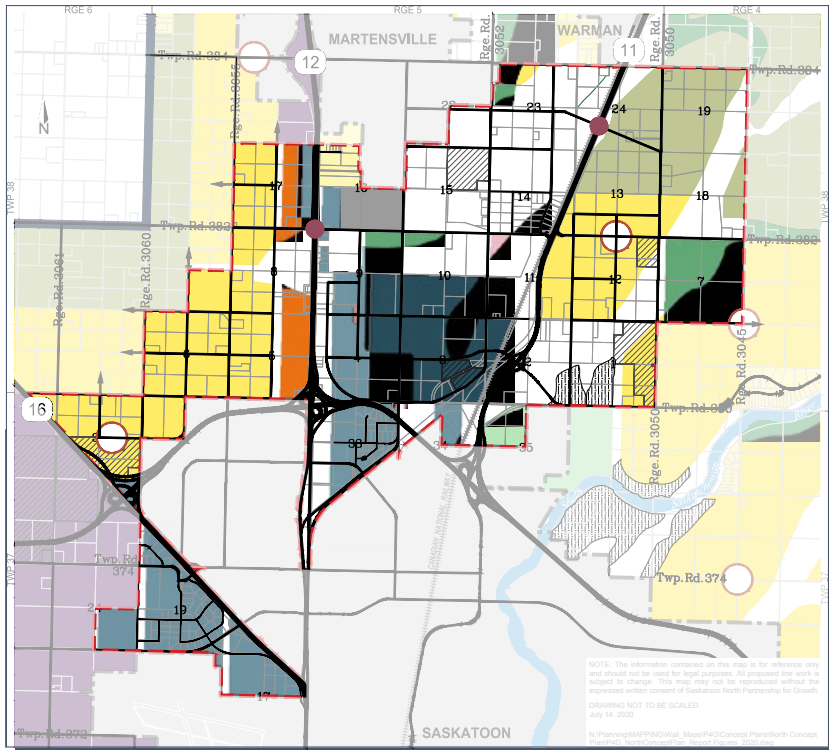
P4G NORTH CONCEPT PLAN

In June 2019, Planning Project Services was engaged by P4G to lead the P4G North Concept Plan (NCP). The NCP covers almost 7,000 hectares of land in the northern P4G region stretching along Highways 11 and 12 to Warman and Martensville, and across Highway 16 north of the John G Diefenbaker International Airport. The plan builds on the P4G Regional Plan by creating a framework for future development in the study area.

Future Land Use and Transportation Plan Map

The Land Use Plan is based upon an analysis of the Plan Area's opportunities and constraints and will be used to guide land use and development decisions in the area.

The plan indicates generalized land uses and their approximate boundaries situated within a future network of arterial roadways, three highways and the future Saskatoon Freeway.



- | | | | | | |
|--|--|--|---------------------------------|--|------------------------|
| | North Concept Plan Study Area | | Agriculture | | Rural Commercial |
| | Existing Urban Municipality | | Country Residential | | Urban Commercial |
| | P4G District Boundary | | Urban Residential Neighbourhood | | Urban Mixed Use |
| | Proposed Saskatoon Freeway & Highway Alignment | | Green Network Study Area | | Rural Light Industrial |
| | Arterial Road | | Regional Infrastructure | | Urban Light Industrial |
| | Proposed Potential Interchange | | Recreation, Parks and Culture | | Rural Heavy Industrial |
| | Wanuskeewin Viewshed (P4G Regional Land Use Map) | | Urban Mixed Use Nodes | | Urban Heavy Industrial |
| | First Nations Reserves/Land Holdings | | | | |

The NCP will provide further refinement of the land uses, along with long-term servicing and transportation strategies to enable rural growth and help facilitate cost-effective future urban growth. It will provide a roadmap for how this area will take shape as the regional population approaches 700,000 people and beyond. The final NCP report draft was delivered in January 2021 to the P4G member Administrations.

Further information is available on the P4G website at partnershipforgrowth.ca/north-concept-plan/.

CIVIC CONSERVATORY RENEWAL – CONCEPTUAL PROGRAMMING AND DESIGN



The intent of the Civic Conservatory Renewal project is to determine the programming needs and desires to develop conceptual programming options for the potential renewal and/or expansion of the facility. The future of the Civic Conservatory is an

important component of the 2011 Kinsmen Park Master Plan and is aligned with other projects in the precinct including the Nutrien Wonderhub, Shakespeare on the Saskatchewan and Meewasin Valley Trail improvements.

The project scope included determining the space needs for a variety of uses identified by stakeholders and developing conceptual programming options that incorporated as many of those uses as possible. Work in 2020 was limited to presentation of two refined options to the Municipal Heritage Advisory Committee to obtain their input for incorporation in a future options report to the Standing Policy Committee on Planning, Development and Community Services and City Council.

WINTERCITYYXE

The concept of designing a “Winter City” is about capitalizing on opportunities to alleviate the real and perceived negative effects of the winter season and reinforce positive ones. The outcome can be a more accessible, inclusive, active, prosperous and livable community during the coldest months of the year.



Achievements for 2020 included:

- From January to March 2020, the Project Team undertook engagement activities including workshops and pop-ups to confirm the Strategy. Results of these engagement activities can be found in the Closing the Loop report.
- The WintercityYXE Strategy was presented to the Standing Policy Committee on Planning, Development and Community Services on September 14, 2020. The Strategy is the culmination of the community and administrative input received through the course of strategy development. It articulates the actions necessary to help residents, businesses, organizations and visitors embrace winter with as much enthusiasm as they have for the summer season while recognizing the challenges that the winter months present for some residents of Saskatoon.
- The WintercityYXE grant program provided local organizations and businesses a total of \$25,000 (with grants of up to \$5,000 each) for initiatives that support the goals of Saskatoon’s WintercityYXE project.

LOOKING AHEAD TO 2021

- Comprehensive Review of the Zoning Bylaw
 - Proposed Zoning Bylaw amendments will be brought forward through a series of amendment packages staged over

the course of the Project. The Project Team will undertake engagement throughout the Project with appropriate engagement with stakeholders and the community. The next set of amendments is anticipated in the first half of 2021. The Project Team is also continuing to focus on larger, more complex topics including infill residential development and landscaping.

- Corridor Planning
 - The Corridor Planning Program will move into a new phase of more detailed implementation focusing on a number of areas including policy, development financing and incentives, and pre-planning for the preparation of Corridor Plans for segments of corridors.
- The draft final P4G North Concept Plan was delivered to the regional partners in January 2021 for final review.
- The Civic Conservatory Conceptual Programming and Design is planned to deliver a report with a number of options for consideration to City Council in spring 2021. Future work, including design and construction will be dependent on Council direction and future funding.
- WintercityYXE
 - The WintercityYXE Strategy Implementation Plan is targeted for completion in Q1 of 2021. The 2021 workplan includes circling back to stakeholders and the public to ensure the draft implementation plan captures the ideas and concepts heard through the previous engagement activities and supporting the community.
 - The Project Team will work with Tourism Saskatoon and the Combined Business Group to implement the “Take It Outside” Winter **Animation** Fund. The fund seeks to provide support to community to improve quality of life in Saskatoon by providing funding for COVID-19 safe outdoor activities in Saskatoon.

NEIGHBOURHOOD PLANNING

The Neighbourhood Planning Section includes a diverse range of programs:

- Attainable Housing;
- Neighbourhood Revitalization;
- Local Area Planning;
- Neighbourhood Safety and Safe Growth;
- Urban Design; and
- River Landing Project Management.

The Neighbourhood Planning Section also collaborates on major projects with other agencies and civic departments.

In 2020, Neighbourhood Planning operated with a staff complement of 14 full-time employee positions, including Registered Professional Planners, Landscape Architects, Architects, a Housing Analyst and a Design Assistant.

ATTAINABLE HOUSING

The City of Saskatoon plays an important role in encouraging and facilitating the creation of attainable housing. The tools to increase the range and supply of attainable housing include policy, incentives, research, partnerships and education.

Attainable housing ranges from transitional units for those at risk of homelessness to entry-level ownership units. The City supports four broad categories of attainable housing:

- Affordable Rental – subsidized units for low income households
- Purpose-Built Rental – market priced units protected from condominium conversions
- Affordable Ownership – modest units with down payment grants
- Entry-Level Ownership – modest units for first time buyers

2013 – 2022 HOUSING BUSINESS PLAN

In 2020, the City supported the creation of 151 units, which fell short of the target of 200 units. The shortfall was primarily the result of decreased demand for affordable ownership and entry level projects during the COVID-19 pandemic. There was no target for purpose built rental units due to an elevated vacancy rate of 5.9%, relatively unchanged from the 5.7% experienced in 2019.

The 2020 attainable housing units are shown below, along with the eight-year averages achieved under the current Housing Business Plan.

| Housing Type | 2020 Target | 2020 Results | 2013-20 Total Results | Eight Year Average |
|--|-------------|--------------|-----------------------|--------------------|
| Purpose Built Rental | 0 | 0 | 1,143 | 140 |
| Affordable Ownership | 50 | 5 | 351 | 43 |
| Affordable Rental (including renovation) | 30 | 81 | 410 | 52 |
| Secondary Suites (purpose-built rental) | 60 | 24 | 360 | 45 |
| Entry Level Ownership | 50 | 21 | 751 | 92 |
| In-Kind Support - Affordable Rental | 10 | 20 | 58 | 29 |
| Total Units | 200 | 151 | 3,073 | 400 |

2020 saw a substantial increase in demand for the City's 10% Capital Grant program. The approval of 81 affordable rental units was the highest total since 2012. The following funding was committed for affordable rental projects in 2020:

| Developer | Total Cost | Percentage of Grant | Number of Units | Dollars Committed |
|--------------------------------|---------------------|---------------------|-----------------|-------------------|
| K.C. Charities | \$4,851,060 | 7% | 30 | \$339,574 |
| CUMFI | \$2,549,107 | 7% | 15 | \$178,437 |
| Stewart Properties | \$1,557,353 | 10% | 20 | \$155,735 |
| Petrichor & Arlyn Developments | \$1,252,800 | 10% | 6 | \$125,280 |
| Lighthouse | \$472,000 | 10% | 10 | \$47,200 |
| Total | \$10,682,320 | | 81 | \$846,226 |

CMHC'S RAPID HOUSING INITIATIVE

The Government of Canada, through CMHC, launched the Rapid Housing Initiative (RHI) in September 2020. The RHI is a \$1 billion program to help address urgent housing needs of vulnerable Canadians, especially in the context of the pandemic, through the rapid construction of affordable housing. The program is expected to support the creation of up to 3,000 new permanent affordable housing units. Neighbourhood Planning is assisting multiple affordable/supportive housing providers in Saskatoon that are pursuing funding under this program.

2020 HOUSING BY THE NUMBERS

\$346,239 Average sale price of a Saskatoon home

Average rent for a one-bedroom apartment **\$957**

\$1,116 Average rent for a two-bedroom apartment

Average rental price increase **2%**

LOOKING AHEAD TO 2021

- Work continues on developing a new Housing Business Plan to replace the existing Plan that expires in 2022.
- The demand for affordable rental will continue to be elevated as vacancy rates continue to stabilize from previous elevated levels.

NEIGHBOURHOOD REVITALIZATION

The Neighbourhood Revitalization program supports growth and development in established neighbourhoods by providing development incentives and participating in projects intended to enhance the quality of life in these neighbourhoods.

Vacant Lot and Adaptive Reuse Incentive Program

In 2020, City Council approved a five-year incremental tax abatement for 410 and 420 5th Avenue North. The development is a 25-storey, two-tower mixed use project. Four levels of below-grade and three levels of above-grade parking will be included in both towers, totaling more than 500 enclosed parking spaces. The project includes main floor commercial space, as well as 474 residential rental units. Construction of the project began in 2020 and is anticipated to be complete in 2023.

In addition, two one-unit dwelling applications were approved in 2020. These projects are in the Caswell Hill and Varsity View neighbourhoods. Construction was completed in 2020 on both new homes.



The tools to increase the range and supply of attainable housing include policy, incentives, research, partnerships and education.

Since 2011, the VLAR Program has approved 72 applications, with three new applications approved in 2020. The estimated amount committed to these incentives to date totals about \$9,200,000 (includes cash grants and foregone revenue from five-year incremental tax abatements), and the approved projects represent investments of more than \$425,000,000 within the Program's neighbourhoods.

| NEIGHBOURHOOD | APPLICATIONS (Approved) | TOTAL INVESTMENT |
|---------------------------|----------------------------|----------------------|
| Avalon | 2 | \$700,000 |
| Buena Vista | 1 | \$375,000 |
| Caswell Hill | 1 | \$450,000 |
| Central Business District | 7 | \$158,050,000 |
| City Park | 6 | \$124,350,000 |
| Eastview | 1 | \$6,900,000 |
| Haultain | 1 | \$600,000 |
| Holiday Park | 1 | \$375,000 |
| Hudson Bay Park | 1 | \$425,000 |
| Kelsey-Woodlawn | 1 | \$430,000 |
| King George | 6 | \$1,615,000 |
| Montgomery Place | 1 | \$400,000 |
| Mount Royal | 2 | \$12,450,000 |
| North Park | 3 | \$2,163,000 |
| Nutana | 6 | \$80,552,246 |
| Pleasant Hill | 3 | \$1,122,000 |
| Riversdale | 17 | \$19,990,316 |
| Sutherland/Forest Grove | 3 | \$1,500,000 |
| Varsity View | 1 | \$1,200,000 |
| Westmount | 5 | \$1,290,300 |
| West Industrial | 3 | \$10,790,000 |
| Total | 72 | \$425,727,862 |

Neighbourhood Planning continued work with internal stakeholders on revisions to the current Vacant Lot and Adaptive Reuse (VLAR) Incentive Program in 2020.

The Façade Conservation and Enhancement Grant Program

The Façade Conservation and Enhancement Grant Program, which launched in 2014, assists commercial property owners within the Program's eligibility area to conserve the built heritage and maintain attractive buildings in the city.

In 2020, a total of five applications were approved, and the Adjudication Committee committed \$41,000 in grants to applicants to improve and enhance their building façades.

In addition to the applications approved in 2020, the Neighbourhood Planning Section began a comprehensive review of the Façade Conservation and Enhancement Grant Program and associated policy. The review aims to ensure the Program is meeting its intent, identify any gaps, and develop additional content for applicants, administrators, and the Adjudication Committee. The review is expected to be complete in 2021 and any suggested changes will be presented to City Council at that time.

PLEASANT HILL VILLAGE PROJECT

Since its inception in 2006, the Pleasant Hill Village revitalization project has been led by the City, in partnership with the community, other levels of government, non-profit and institutional organizations, and members of the development community.



In 2020, Central Urban Métis Federation Inc. (CUMFI) obtained Discretionary Use approval for the development of Special Needs Housing on Parcel F (412 Avenue P South) in Pleasant Hill Village. The proposed development consists of a three story building with 26 rental units for Indigenous and Métis Elders and will be operated by CUMFI. It is anticipated that construction will commence in 2021.



There are two remaining development parcels for sale within Pleasant Hill Village - Parcels A and C. The goal for these sites is to provide affordable home ownership options for low-income renters who currently reside in the neighbourhoods surrounding Pleasant Hill Village. Progress towards a sales agreement for the sites was delayed in 2020, due to market uncertainty associated with the COVID-19 pandemic. Discussions are expected to resume in 2021 for the sale and development of the parcels.

SOUTH CASWELL REDEVELOPMENT PROJECT

The South Caswell Redevelopment Project involves the redevelopment of the former Saskatoon Transit facility in the Caswell Hill neighbourhood. Since Saskatoon Transit vacated the site in 2017, environmental testing and remediation efforts have been underway to prepare for redevelopment. In 2020, work to remove existing hydraulic lifts within the buildings and remediation of the contaminated soils related to those lifts was completed.

As part of the redevelopment process, the sites need to be rezoned to align with future goals for the area. Discussions to change the historic industrial zoning district to a more compatible district that aligns with future redevelopment plans (as per the South Caswell Concept Plan) and community expectations began in 2020, and the associated internal review was started. In 2021, online public engagement will be held to inform and receive feedback from the community about the proposed zoning changes. It is expected that the changes will be presented to City Council in 2021.

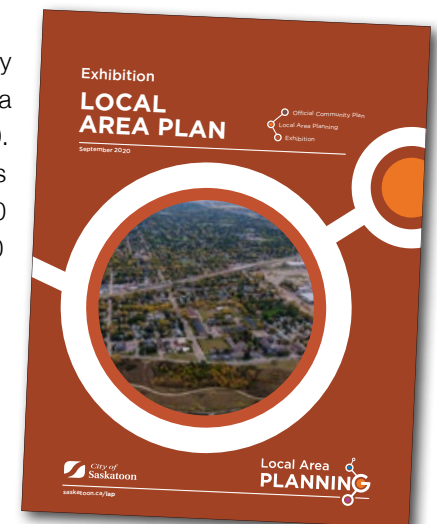
LOCAL AREA PLANNING

Local Area Planning is a community-based approach to developing comprehensive neighbourhood plans. It provides residents, business owners, property owners and other stakeholders direct input into the future of their community. Local Area Plan (LAP) participants work to develop a vision, discuss issues, identify goals, and outline strategies to ensure the long-term success of their neighbourhood. Once completed, a LAP sets out objectives and policies to guide the growth and development of the neighbourhood.

Exhibition Local Area Plan

The Exhibition LAP was approved by City Council in September 2020, completing a process that formally began in January 2019. The LAP contains 36 recommendations developed through the efforts of over 190 community members and approximately 70 members of City Administration.

Key recommendations relate to major events in the area, unique challenges to building community volunteerism, urban forestry, and neighbourhood safety. Implementation of some LAP recommendations has already begun.



Local Area Plan Implementation

Implementation of LAP recommendations is divided into neighbourhood safety-related and non-safety-related, with the safety-related recommendations assigned to the Neighbourhood Safety Team. There were 12 non-safety-related LAP recommendations successfully completed in 2020, in addition to 4 safety-related LAP recommendations.

Implementation Highlights:

- An inventory of the entire drainage system in the Montgomery Place neighbourhood was conducted and included a robust review of recent steps taken to improve drainage in the neighbourhood. The City also shared information with neighbourhood residents about responsibilities for drainage and plans for future improvements to their unique drainage system.
- In Exhibition, information about the Good Neighbour Guide was shared with the community. The guide was created to give residents a handy overview of Saskatoon's bylaws, standards and regulations to help everyone do their part to keep neighbourhoods safe, clean and beautiful. The Good Neighbour Guide is available online at: saskatoon.ca/goodneighbour
- Project updates from the management of Optimist Hill were shared with the Queen Elizabeth Exhibition Community Association, with the groups committing to maintaining ongoing communication to help keep the larger community informed on progress of the hill's development and future recreation plans for the area.
- Neighbourhood Planning also assisted Parking Services with a review of the Residential Parking Permit Program that addressed LAP recommendations in the City Park and Varsity View neighbourhoods. The review updated and modernized the Program to address various identified issues.

LOCAL AREA PLANNING BY THE NUMBERS

438 non-safety-related LAP recommendations have been created since the program began in the 1990's



LOOKING AHEAD TO 2021

- Implementation of various LAP recommendations will continue, including a number of items from the recently approved Exhibition LAP, related to information sharing and local signage improvements.
- Working with Saskatoon Transit, two new bus shelters are anticipated to be installed at identified locations recommended in the Meadowgreen and Montgomery Place LAPs.
- Several LAPs recommended a Community Facility Land Use Designation for community focal points. Further work will begin related to these recommendations in the Kelsey-Woodlawn, Mayfair, Meadowgreen, Montgomery Place, Varsity View, and Westmount neighbourhoods, as recommended by each of the LAPs.
- Work with Community Standards Department will be underway to address a recommendation from the West Industrial Local Area Plan to explore options that address land use conflicts in areas where historic industrial and residential uses interact.

NEIGHBOURHOOD SAFETY

The Safe Growth and Crime Prevention Through Environmental Design (CPTED) philosophy was adopted by City Council in 2008. The application of CPTED principles have evolved to become a standard part of Community Safety Reviews and the review process for all municipal developments, facilities, and structures, as well as Area Concept Plans. The purpose of the Neighbourhood Safety program is to add value to the existing civic programs and help make our City safer.

The Neighbourhood Safety program consists of five parts:

1. Creation of neighbourhood safety plans in conjunction with Local Area Plans;
2. Neighbourhood Safety recommendation implementation;
3. Safe Growth and CPTED Review Committee to review municipal developments, facilities, structures and Area Concept Plans;
4. Ad hoc requests for assistance from affected neighbourhoods, administration and referrals from City Council; and
5. Program support.

Neighbourhood Safety in Local Area Planning

Work for the Exhibition LAP Neighbourhood Safety Section included:

- a community wide safety meeting to gather information from the community,
- small group sessions to draw out perceptions of safety and where residents felt safe and unsafe,
- a Safe Growth/CPTED workshop, and
- seven safety audits, attended by local stakeholders and residents.

Based on this information, and the crime statistics of the neighbourhood, an Action Plan was established, and recommendations were developed to reflect the desires of residents. Neighbourhood Safety began implementation of these recommendations immediately following the adoption of the Exhibition LAP by City Council in September 2020.



2020 BY THE NUMBERS

4 Safety-related LAP Recommendations were completed

Safety Audits conducted **7** | **25** CPTED Reviews completed

CPTED external lighting reviews completed **32**

BRT sites, stations, platforms, and routes were reviewed **4** | **11** Bike Rack Site Reviews

6 Ad Hoc Requests for Task Force and Steering Committee input, Councillor requests, and internal staff support

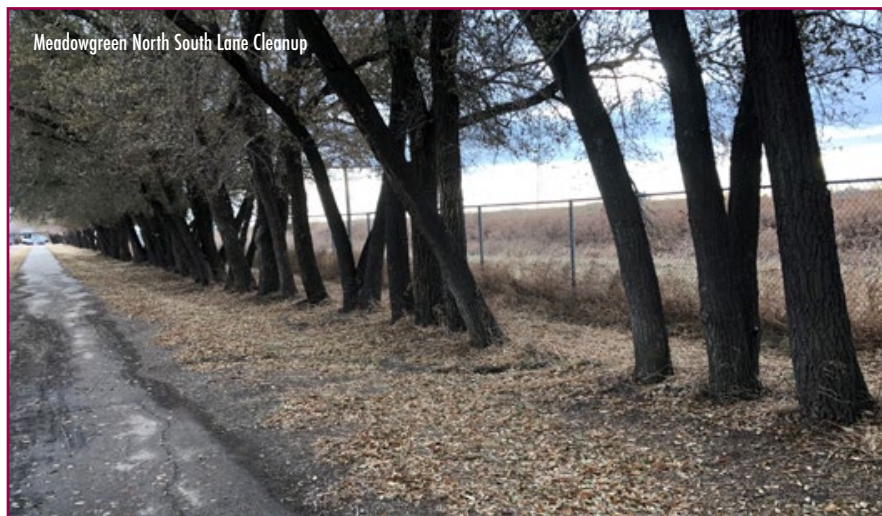
Neighbourhood Safety Recommendation Implementation

With the addition of the Exhibition LAP safety-related recommendations (15), a total of 251 Neighbourhood Safety recommendations have been identified through LAPs. By the end of 2020, 200 safety-related recommendations have been implemented, representing 80% of all Neighbourhood Safety recommendations.

Due to COVID-19, some implementation actions were delayed until the required in-person collaboration and sharing of materials could occur. As a result, Neighbourhood Safety spent much of 2020 planning and preparing for implementation actions in 2021, including several more difficult, resource intensive recommendations.

Implementation Highlight:

- The back lanes on the west side of the 100 and 200 blocks of Vancouver Avenue South were targeted for a cleanup. The Parks Division participated in identifying appropriate work and a contractor removed volunteer tree growth and trimmed larger trees in the shelterbelt along the west side of the neighbourhood. This was done in support of the ongoing work to close the Meadowgreen Recycling Depot.



Safe Growth and CPTED Review Committee

Safe Growth and CPTED Reviews are an important part of the Neighbourhood Safety program. The core CPTED Review Committee consists of trained staff from various civic divisions, as well as Saskatoon Fire and Saskatoon Police Service. The Review Committee reviews all applications for new construction or major renovations affecting City of Saskatoon structures, facilities, and developments with any public access. The Neighbourhood Safety Coordinator is the Chair of the CPTED Review Committee and oversees the process of review and the final reports.

There were 25 CPTED reviews completed in 2020. Projects included:

- Site reviews of updated and new bike racks locations over 11 sites,
- 4 BRT related CPTED reviews,
- 6 facilities,
- 3 parks,
- 5 Meewasin projects,
- 3 concept plans or concept plan amendments,
- 2 major facility lighting reviews, and
- 1 public art installation with 3 separate sites.



Ad Hoc Requests of the Neighbourhood Safety Program

The Neighbourhood Safety program managed multiple ad hoc requests for assistance in 2020. In addition to the regular operations of the CPTED Review Committee, Neighbourhood Safety was asked to participate in site reviews of Cherry Lane in Nutana, the Elections Office, and various Sidewalk/Parking Patios. Requests were also received from City Councillors and other internal groups.

A Public Washroom Advisory Committee was formed and Neighbourhood Safety was identified as the lead. The City had closed all public washrooms in the early part of the pandemic to ensure public safety and determine appropriate cleaning protocols. By the end of 2020, all public washroom facilities were open under modified hours.

The Neighbourhood Safety program also reviewed exterior lighting replacements for major facilities under the City's Go Early Lighting Replacement Program. In 2020, Neighbourhood Safety reviewed lighting replacements for two city-owned facilities.



Program Support

Safe Growth/CPTED Training

Neighbourhood Safety conducts an annual Safe Growth/CPTED Training course for staff and interested external professionals. Unfortunately, due to the COVID-19 pandemic, the course was not offered in 2020.

Saskatoon's Safe Growth/CPTED training course was accredited by the International CPTED Association as a Class A course in 2019 and was the first one that graduated students in Canada. The advantage of taking a certified course is that the graduates earn multiple credits towards Certified CPTED Practitioner status.

Canadian Municipal Network on Crime Prevention

The Neighbourhood Safety Coordinator is the City's representative on the Canadian Municipal Network on Crime Prevention. Saskatoon was one of the first 14 members of the network from across Canada. The network now has 40 member communities that represent 50% of the country's population.

This group is helping municipalities across the country to battle the harm caused by crime and the rising costs of enforcement by investing in social development

through evidence-based programs as the most cost-effective way to prevent crime. Municipalities feel and see the impact of crime on their streets every day and there are many examples that illustrate that they are best positioned to work with local agencies and neighbourhoods to identify needs and tackle the multiple causes of crime.

The Network engages in several activities to foster its community of practice among its members. These are designed to build capacity and mobilize municipalities so that increased investment in effective, evidence-based, and collaborative prevention strategies continue to grow. Inter-municipal exchanges, regional meetings, national meetings, mentoring and crime prevention training are all activities that are ongoing.

Through the pandemic, webinars were offered, and research started on the issues of policing costs, municipal impacts, and other topics. The Neighbourhood Safety Coordinator conducted a webinar on CPTED and Safe Growth for the Network, in partnership with one of the leading Safe Growth/CPTED experts in the world.

Street Activity Subcommittee

The Neighbourhood Safety Coordinator participates on the Street Activity Subcommittee. This Subcommittee was established by City Council and oversees the management and operations of the Community Support Program (CSP). The CSP became permanent in 2015 and has become a welcome sight in the Business Improvement Districts they serve. The Subcommittee reports directly to the Standing Policy Committee on Planning, Development and Community Services.

The CSP implemented some changes over the past year, including a move to a new office space that better fits the needs of the program, and the use of bicycles to improve response times and be more visible on the street.

The Subcommittee also welcomed a new member with lived/living experience. This was an important addition to the Subcommittee as it allows the Subcommittee to tap into alternate experiences when making decisions for or about the program.



Community Support Program

The member with lived/living experience is actively supported, as needed, through printing of materials, travel and childcare reimbursement as well as a modest honorarium to ensure full participation in an equitable and sustainable manner.

LOOKING AHEAD TO 2021

- A Request for Proposals is under development to gather information on methods to address incivilities associated with liquor-related establishments in a variety of established neighbourhoods. This relates to a number of Local Area Plan recommendations.
- The Public Washroom Advisory Committee is working to establish a policy and/or procedure for the opening, design, and operation of existing and new Public Washrooms in the city.
- External lighting reviews for all major city-owned facilities will be completed.
- A hybrid virtual and/or in-person Safe Growth/CPTED training course will be held for both City staff and interested external individuals.
- Neighbourhood Safety is partnering with the Community University Institute for Social Research (CUISR) on the *Public Safety in Downtown Saskatoon* project, which will look at the factors that inform public perception of safety to develop an evidence-based, collaborative response. The response will look at ways to address the public safety issue as well as the root cause(s).

URBAN DESIGN

Urban Design works closely with groups across the corporation and in the community to find opportunities for improving the physical, psychological, social, and cultural experience of Saskatoon's public realm. The long-term vision is to create a safe, comfortable, attractive network of pedestrian streets that encourage active transportation, celebrate Saskatoon's diverse identity, and support the policy goals of the Official Community Plan. The team also designs and prepares

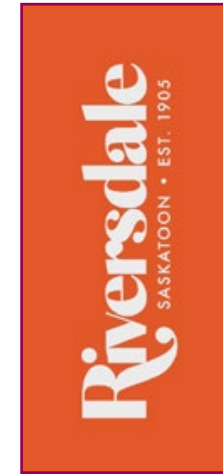
construction documents and manages the delivery of projects working toward these goals.

Urban Design Programs and Annual Maintenance

Banner Program

Along with the ongoing banner placement requests, in 2020 Urban Design installed new banners for Broadway and Downtown and will install new banners in Riversdale when the seasonal decorations are removed in early 2021.

Urban Design developed an online banner request program that allows banner location selection to be more efficient and intuitive and prevents overlapping requests for locations.



Banners in Downtown, Riversdale and Broadway

Flower Pot Program

Despite the disruption created by COVID-19 in the spring of 2020, it was another very successful year for the Flower Pot Program. Urban Design worked closely with the Parks Department and the BIDs to deliver and to maintain the Flower Pots, despite the pandemic restrictions.



Seasonal Decorations

Urban Design worked closely with Saskatoon Light and Power and the Business Improvement Districts to select and procure new seasonal decorations with the additional funds provided by Council and WinterCityYXE. New decorations were procured for 20th Street, 22nd Street, 33rd Street, the University Bridge, Broadway, and 8th Street. The lights received very positive feedback from stakeholders and on social media. 21st Street is next on the list for replacements and Urban Design is partnering with Saskatoon Light and Power on a pilot project for year-round decorations for this key historic street.



Annual Maintenance

2020 was a busy year for maintenance. Along with emergency repairs, 176 light poles and furniture items were painted, 91 tree wells were cut and/or cleaned, and 32 paving stone locations were repaired within the BIDs this year. 35 new garbage receptacles were also installed in the Downtown and Broadway BIDs.

A review of maintenance practices was undertaken and, as a result, Urban Design will pilot a new inspection and management process in 2021, with the goal of improving efficiency for internal and external partners.

Urban Design Public Realm Projects

Honouring Indigenous Heritage on 21st Street

As part of the reestablishment of a heritage theme on 21st Street, Urban Design had bike racks manufactured that included Treaty 6 Territory and the Homeland of the Metis medallions in the design. These medallions were included as meaningful symbols to demonstrate respect for Saskatoon's Indigenous histories on one of Saskatoon's major historic streets.



Left: 21st Street bike rack; Right: Poster design.

Urban Design worked with representatives from the Gabriel Dumont Institute and the Saskatchewan Indigenous Cultural Centre to design the medallions and to develop a poster and webpage with information about them and the histories of Indigenous peoples in Saskatoon. It was important to tell these stories from an Indigenous perspective by Indigenous people and with the support of community Elders. The posters and bike racks are scheduled to be installed in spring 2021. The black metal frames holding the medallions were inspired by stylistic elements from the historic buildings, such as the Bessborough Hotel and the Land Titles Building, which make 21st Street such an iconic location.

Downtown Grant

Urban Design partnered with the Downtown BID (DTNYXE) to create and administer an activation grant that provides matching funding to organizations, businesses, and individuals undertaking projects that activate Downtown. DTNYXE worked with Station Studios to produce wall art that was installed in the back alley near their offices, and the Hotel Senator also completed an



installation of colour-changing lights that enhances their historic façade. SCYAP has completed a large-scale art piece for the back alley wall of O'Shea's Pub that is set to be installed before the end of this year. Urban Design has worked with the other successful applicants to adjust timelines and requirements with the goal to complete their projects in 2021.



Broadway Plaque Replacement

Urban Design worked with the Broadway BID to replace the logo plaques distributed along the street with new designs. The new plaques were manufactured by the City's Sign Shop to reduce costs and administration requirements.

Alternative Tree Well & Irrigation System Research

Urban Design continues to look for solutions to the ongoing issues of insufficient growing conditions and irrigation system failures for street trees. This year Urban Design did significant research into new systems that could be used in future streetscaping projects to better support trees in the BIDs.

Facilitation of Bike Parking

The bicycle corral pilot that started in 2019 in collaboration with 9 Mile Brewing and the Transportation Department, continued in 2020. Lessons learned through the pilot and through other programs, like the Parking Patio program, will be used to develop a new bicycle corral program. The program is intended to be a collaborative effort between various Civic departments, interested business owners and the relevant Business Improvement District to provide quality bicycle parking, add a unique design element to the city's commercial districts, and address recommendations from the Active Transportation Plan.

In addition to policy work around developing a bicycle corral program, Urban Design facilitated the installation of additional bike racks on parking meter posts within the Broadway, Downtown and Riversdale Business Improvement Districts and River Landing in consultation with each BID to



City-Wide Urban Design Projects

Central Avenue

Urban Design's major construction project in 2020 was on Central Avenue in the Sutherland BID. The project included the completion of the multi-use pathway on the east side of Central Avenue and the reconfiguration of the intersection at 108th and Central Avenue. Other improvements included new light standards, new sidewalks and curbs, as well as improved pedestrian safety through reduced crossing distances and better sightlines. The final phase of work will occur in 2021 and will tie-in the streetscaping work with the newly renovated 810 Central Avenue building, and the development of a Gateway feature.



LOOKING AHEAD TO 2021

- Completion of the remaining streetscape construction on Parcel YY in River Landing, in collaboration with the City's Transportation and Construction and Design Departments.
- Installation of the heritage-style bike racks and the design and manufacture of year-round light installations on 21st Street.
- Renewal of the 2nd Avenue streetscape, including the alley conversion and a review of the directories.
- Continued work on planning and design with the Corridor Planning Program and the BRT project.
- Tender and construction of the final phase of streetscaping on Central Avenue between 108th and 109th Streets.
- Collaborating with the Transportation Department to begin planning for consultations and design for the Downtown Active Transportation network.
- Collaborating with the Transportation Department to develop a coordinated wayfinding strategy.
- Preparing a Streetscaping Plan for Avenues B, C, and D between 20th Street and 22nd Street in Riversdale.
- Maintenance of streetscape amenities will continue to be a high priority in 2021.
- Preparing a new Vision document for the Urban Design Program.

RIVER LANDING PROJECT MANAGEMENT

The \$81.5M, 36-acre River Landing development (stretching from 19th Street to the river, and from 3rd Avenue to Avenue C) is a mixed use space of parks, riverfront trails, new art gallery, live performance theatre, farmers' market, business incubator, seasonal concession, restaurants, as well as commercial, retail, hotel,

and residential developments. These and other amenities draw thousands of visitors and residents each year to River Landing. On average over 360,000 pedestrians and cyclists visit or pass through the area annually. In addition, there are numerous festivals, races, special events, weddings, and dance classes in the vicinity each year. In 2020 many of the events were cancelled or held virtually. There were 12 events held in River Landing in 2020; in comparison, there were 266 events held in 2019.



Parcel YY

In partnership with the interdivisional team and private developer of Parcel YY, streetscaping work continued in 2020. Construction and project management included the completion of the work on Spadina Crescent and the access to the Mews Road in 2020. The design of the remainder of the streetscaping on 2nd Avenue has been completed and the entire site is scheduled to be constructed before September 2021.

Farmers' Market Building Roof Replacement Project

The tender package was issued in early 2020 for a contractor to repair the Farmers' Market Building roof. Thorpe Industries Ltd. was the successful contractor and managed the roof repairs, including removal of the old roof, and the installation of new insulated metal roof panels and skylights.

Lease of Farmers' Market Building

Throughout 2020, negotiations were held with the highest scoring proponent from the 2019 Request for Proposal process to operate and animate the Farmers' Market Building. Although the pandemic delayed finalizing negotiations in 2020, the City continues to move forward with negotiations with the proponent and anticipates a public announcement about the proponents' vision for a six day a week animated public facility, with dedicated farmers' market days in 2021.

Outdoor Market on Market Square

Market Square is located adjacent to the Farmers' Market Building at the corner of 19th Street and Avenue A South. The outdoor space can be booked by any user group, although the tenant of the Farmers' Market Building has first right of refusal to ensure weekend/weekday markets can take place.

An interim initiative for Market Square was supported in 2020, ensuring an outdoor market during the transition of Farmers' Market Building tenants. Ideas Inc. expanded their annual Street Stall Saturdays onto Market Square. They partnered with the Community Farmers Market and other businesses to provide over 30 vendors at the site. Although the site operated differently in 2020, ensuring City and Provincial COVID-19 regulations were followed, market days brought between 2,000-3,000 residents and visitors to the area.

LOOKING AHEAD TO 2021

- In response to a request by the Downtown Business Improvement District (DTNYXE) to incorporate the eastern portion of River Landing into their District, a report to Governance and Priorities Committee in early 2021 will outline the required steps to alter the boundary. Work with the relevant BIDs to engage affected business and property owners for this potential change is anticipated to occur in 2021.
- As the Senator Sid Buckwold Bridge rehabilitation project wrapped up in the Fall 2020, options for art or other animation pieces on the abutment wall under the bridge will be explored.
- The remaining vacant development sites in River Landing Phase II require updates to their Corrective Action Plans to reflect new environmental code criteria from the Ministry of Environment. In partnership with Saskatoon Land and the Sustainability Department, work will continue to address the requirements.
- Negotiations will continue to secure a tenant to operate and animate the Farmers' Market Building.

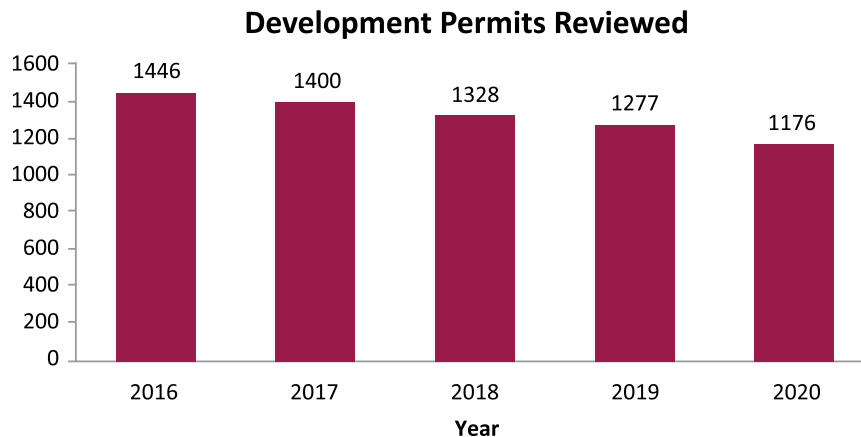
DEVELOPMENT REVIEW

The Development Review Section is responsible for facilitating the orderly use and development of land and property in Saskatoon, as outlined in the Official Community Plan, Zoning Bylaw and Subdivision Bylaw, as well as Council and Administrative Policies. The Section serves as a resource to individuals, businesses, government agencies, and community groups seeking to pursue development proposals, interpretations of bylaws and policies, and information on land use processes and timelines. Development Review is responsible for the review of Concept Plan, Direct Control District, Official Community Plan Amendment, Architectural Review, Subdivision, Condominium, Rezoning, Discretionary Use and Development Permit applications. The Section also administers the Civic Heritage Program and the Naming of Civic Property and Development Areas.

In 2020, Development Review operated with a staff complement of 13 full-time employees, including 9 Registered Professional Planners and 4 Development Officers.

DEVELOPMENT PERMITS

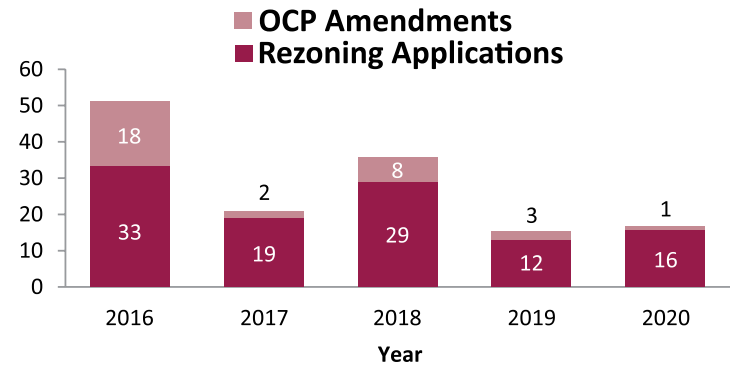
The Section reviews all development proposals, except for one- and two-unit dwellings in new neighbourhoods, to ensure compliance with the Zoning Bylaw. In 2020, 1,176 Development Permits were reviewed, as compared to 1,277 in 2019, and a five-year average of 1,325 Development Permits per year.



ZONING BYLAW AND OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATIONS

Development Review is responsible for review, consultation, and recommendations on applications to amend provisions of the Official Community Plan and Zoning Bylaw. These applications are ultimately considered by City Council to make the final decision on bylaw amendments.

In 2020, the Section received 16 Zoning Bylaw amendment applications and 1 Official Community Plan amendment application, for a total of 17 applications. This compares with 15 total Zoning Bylaw and Official Community Plan amendments made in 2019. The five-year average for combined applications is 28 per year.



CONCEPT PLAN AMENDMENTS

Development Review is responsible for review, consultation, and recommendations on applications to adopt or amend Concept Plans, which guide the development of new neighbourhoods in Saskatoon. These applications are ultimately considered by City Council to make the final decision on policy adoption or amendments.

In 2020, the Section received 6 Concept Plan amendment applications.

Major Concept Plan Amendments Currently under Review

Brighton Neighbourhood Concept Plan Amendment

Dream Developments has applied to amend the Brighton Neighbourhood

Concept Plan. The amendment proposes several changes in the western and southern portions of the neighbourhood including changes to land uses, street network, linear park design, and service networks.

Public consultation on this file began early in 2021, and the application will be submitted for consideration by the Municipal Planning Commission and City Council at a Public Hearing in the first quarter of 2021.

Willows Neighbourhood Concept Plan Amendment

Dream Developments has applied to amend the second phase of development in the Willows. This is a large amendment which includes design changes, increased density, and expanded commercial development.

The original Willows Concept Plan, approved in 2003, currently requires all residential development to be developed within a condominium plan. The proposed amendment would provide for separately titled, fee-simple lots within the amendment area. The existing residential properties developed in the Willows would remain as a condominium development. The proposed amendments also provide for revised street and parcel layout in the second phase of the development and **the potential** addition of **limited** commercial uses.

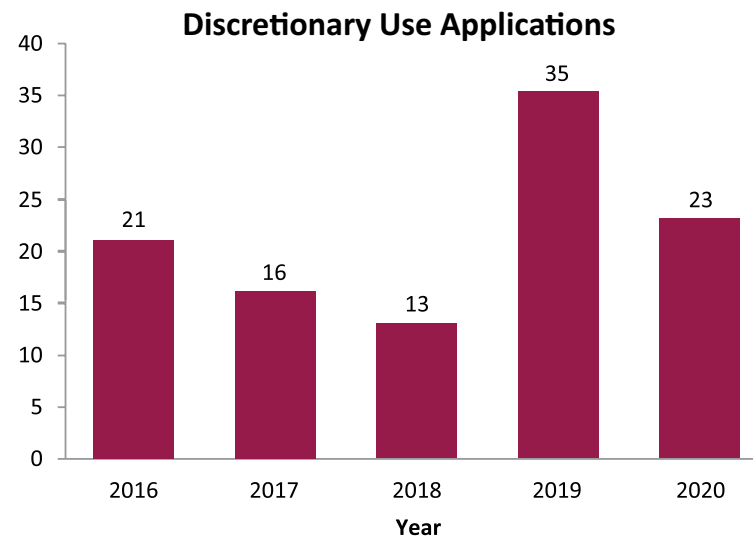
Public consultation on this file began in December 2020 and is ongoing. It is anticipated that the application will be submitted for consideration by the Municipal Planning Commission and City Council at a Public Hearing in mid to late 2021.

DISCRETIONARY USE APPLICATIONS

Land uses in the City of Saskatoon may be permitted, prohibited, or discretionary. Discretionary uses are generally appropriate for their zoning district but may require additional scrutiny to ensure they fit within their specific context. These activities are permitted at the discretion of City Council or, in some cases, are delegated to the Administration for approval.

In 2020, the Section received 23 Discretionary Use applications:

- 5 Child Care Centres
- 6 Residential Care Homes - Type II
- 1 Tavern with Brewpub
- 2 Microbreweries - Type I
- 3 Garden and Garage Suites
- 1 Boarding House
- 1 Special Needs Housing
- 4 Short Term Rental Properties



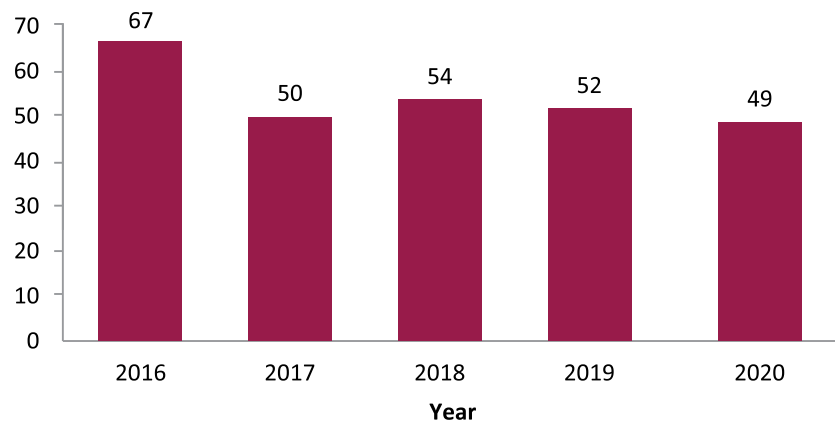
At its meeting on August 31, 2020 City Council adopted amendments to the Zoning Bylaw and Business Licence Bylaw to add the homestay and short term rental property land uses. In low to medium density residential districts, short term rental properties require administrative Discretionary Use approval; 2021 will likely see an increased number of these applications.

SUBDIVISION APPLICATIONS

The Section reviews all applications for subdivision of land to ensure compliance with municipal and provincial requirements and to coordinate utility requirements

for newly created properties. In 2020, the Section received 49 subdivision applications, compared to 52 applications received in 2019, and the five-year average of 54 applications per year.

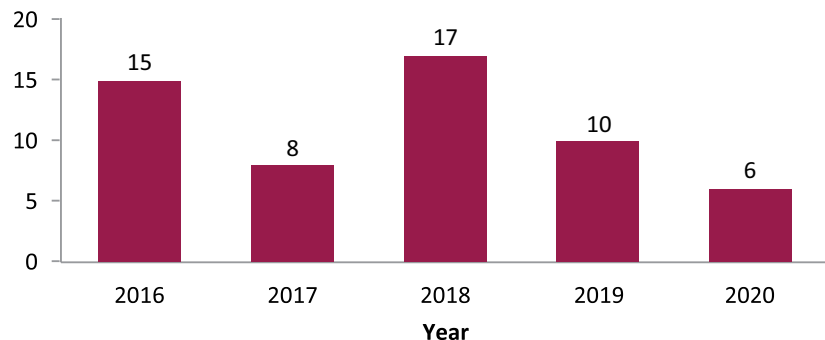
Subdivision Applications



CONDOMINIUM APPLICATIONS

The Section reviews all applications for the creation of condominium parcels to ensure compliance with various municipal and provincial requirements. In 2020, the Section received 6 condominium applications, compared to 10 applications in 2019, and a five-year average of 11 applications per year.

Condominium Applications



DEVELOPMENT APPEALS

Individuals have the right to appeal to the Development Appeals Board over the denial of an application for a Development Permit or when an Order to Remedy Contravention is issued. Development Review represents the City for appeals pertaining to Development Permit denials. Appeals associated with Order to Remedy Zoning Bylaw Contraventions are handled by the Community Standards **Department**. In 2020, the Development Appeals Board heard 35 appeals, compared to 37 in 2019.

Development Review also represents the City at the Planning Appeals Committee of the Saskatchewan Municipal Board. In 2020, there were no appeals filed with the Saskatchewan Municipal Board.

NAMING SASKATOON

Development Review administers the Naming of Civic Property and Development Areas Policy. Members of the public or developers can apply to have names added to the Names Master List, which is used to name civic property and development areas, when requested by a land developer or needed for a new civic property. In 2020, 68 new names were added to the Names Master List, including 55 that were submitted as part of the engagement process for naming the Chief Mistawasis Bridge that have since been vetted by an Elder consultant. As of year-end, a total of 154 names were available to be applied to future developments.

| Names Applied in 2020 | | |
|---------------------------|---------|-------------------------|
| Names Applied | Type | Location |
| Chelsom Bend, Link, Manor | Roadway | Brighton |
| Doran Way | Roadway | Brighton |
| Kohut Avenue | Roadway | Marquis Industrial Area |
| Radu Crescent | Roadway | Marquis Industrial Area |

CIVIC HERITAGE PROGRAM

The following chart identifies the number of documented heritage properties in Saskatoon at the end of 2020.

| Listing Type | Number of Properties |
|---------------------------------------|----------------------|
| Built Heritage Database | 1452 |
| Saskatoon Register of Historic Places | 188 |
| Holding Bylaw | 33 |
| Municipal Designated Properties | 43 |
| Provincial Designated Properties | 3 |
| National Historic Sites | 6 |

Heritage Conservation Program

The following major conservation work and financial incentives were approved under the Heritage Conservation Program in 2020:

- McLean Building at 263 3rd Ave S – Façade window replacement. Funding was approved in the form of a grant for a total of \$39,015.05.
- Former Fire Hall No. 3 at 612 11th St. E – Exterior conservation work to address deteriorating masonry, window maintenance, and repair of front door and cornices. Funding was approved in the form of a grant for a total of \$11,960.25.
- Hutchinson Building at 144 2nd Ave S – conservation work done to repair and paint the transom windows and grout work. Funding was approved in the form of a grant for \$3,593.56.
- Pendency House at 1040 University Drive – Conservation work done to repair and replace the widow's walk feature and foundation exterior restoration work. Funding was approved in the form of a grant for \$1,908.44.

Education and Awareness Events

Heritage Festival

The annual Heritage Festival of Saskatoon took place on February 2, 2020 at the Western Development Museum. The City and Municipal Heritage Advisory Committee collaborated on a display for the event.

Heritage Awards

The Heritage Awards recognize achievement in heritage conservation in Saskatoon through the presentation of awards through the Municipal Heritage Advisory Committee (MHAC). Due to the COVID-19 pandemic, the awards event could not be held in 2020, however the awards were delivered directly to the recipients.

CITY CENTRE

Development Review includes the City Centre planning group, who are dedicated to planning and development matters in the Downtown and larger City Centre area.

Activities in 2020 focused primarily on supporting City Centre development projects at various stages of progress.

A major project to break ground was the Baydo Towers at 410 5th Avenue North, a mixed-use development consisting of more than 400 residential units and commercial space, which will contribute to the City Centre Plan's goal to attract 25,000 new residents to the area. The City Centre group supported this project in 2020 by:

- Piloting a communications strategy to inform area residents of the project and anticipated construction impacts. This pilot is anticipated to serve as a template for future major infill projects;
- Acting as liaison between the developer and area residents, coordinating information sharing and problem-solving for construction site activities impacting the community; and
- Liaising between the developer and other City departments to manage site-related issues as they arose.



Left: Rendering of Baydo Towers
 Above: Cover of *Downtown Saskatoon: Urban with a Prairie Heart*

Support for several development projects was also provided, including guidance on City bylaws and policies, preliminary zoning reviews, coordinating technical review and response by other City departments, and oversight of related development appeals, zoning amendments, and lane closure processes.

This support to developers is enhanced by the Major Applications Group meetings, which provide the opportunity to meet and discuss development concerns ahead of a building and development permit application. Other major activities relating to the City Centre in 2020 included:

- The launch of a joint research project with the University of Saskatchewan: *Creating Demand for a Downtown Lifestyle in Saskatoon*, funded by the Research Junction Development Grant. The purpose of the study is to learn how to make Downtown a

desirable place to live by identifying local interest in and perspectives on downtown living in Saskatoon. An online survey was administered by the U of S Social Sciences Research Laboratory in July 2020 to residents of Downtown and 10 other Saskatoon neighbourhoods with demographic characteristics best matching those of households in mid-sized cities that are likely to consider living downtown. Focus groups took a dive deeper into local perspectives on this topic in November 2020. A final report will be released in 2021 and will include further survey analysis, focus group findings, discussion and recommendations.

- A partnership of the City of Saskatoon, Downtown Saskatoon, Tourism Saskatoon and SREDA created and launched a new promotional guide, *Downtown Saskatoon: Urban with a Prairie Heart*. This implemented a recommendation of a 2019 report “Inquiry Toward a Downtown Stimulus Strategy for Saskatoon” to develop an optimistic, future-oriented narrative for the Downtown as a place to live, work, play, and invest.

LOOKING AHEAD TO 2021

The following major activities are expected to occur in 2021 regarding development, Concept Plans, Naming, Heritage and the City Centre:

- Provide support to the Comprehensive Review of Zoning Bylaw No. 8770.
- Review of the Holmwood Suburban Centre and Neighborhood 2 Concept Plan in the Holmwood Sector.
- Review of the Elk Point Neighbourhood Concept Plan in the Blairmore Sector.
- Support for development projects in the City Centre.
- Release of the final report for the joint research project: *Creating Demand for a Downtown Lifestyle in Saskatoon*, which is being developed in conjunction with the University of Saskatchewan.



City of
Saskatoon

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