



**NOTICE OF HEARING  
OPEN TO THE PUBLIC  
DEVELOPMENT APPEALS BOARD**

August 19, 2025, 4:00 pm  
Committee Room E, Ground Floor, City Hall

*(Please contact the City Clerk's Office at 306.975.3240 for further information).*

1. **CALL TO ORDER**
2. **APPEAL HEARINGS**
  - 2.1 **Appeal 24-2025 - Development Permit Denial - 3333 Ortona Street**
3. **ADJOURNMENT**

July 31, 2025

A.1

City of Saskatoon Development Appeal Application- page 2

**THIS PAGE WILL FORM PART OF THE PUBLIC RECORD FOR THE APPEAL**

Applicant Name: Leslie Lang

Registered Property Owner(s):

(if different from above):

Tristan/Ashley Lang

**Location of Subject Property**

**Legal Description**

Lot (s) \_\_\_\_\_ Block \_\_\_\_\_

Plan No. \_\_\_\_\_

Civic Address: 3333 Ortona street

**Present Status of Building or Structure Under Appeal:**

☒ Construction not yet begun

☐ Under Construction

☐ Completed

**Type of Construction:**

☒ Residential

☐ Commercial

☐ Industrial

☐ Other  
(specify) Residential

**Description of Development Appeal:** (example: side yard deficiency, parking deficiency, etc.)

Outbuilding exceeds residential ratio bylaw

**Reason for Development Appeal:** (as per *The Planning and Development Act, 2007*, applicants have 5 days prior to the appeal hearing date to submit drawings and written materials)

We live in Montgomery place where we have 1/2 acre lots. We are asking to get an exception to the bylaw. Because the house was built in the 50s it is a relatively small house on a big lot. The outbuilding would not interfere with any neighbours as it would be located at the back of the lot.

**BOTH SIDES OF THIS FORM MUST BE COMPLETED**

# R.1

July 14, 2025

Tristan Lang  
[REDACTED]

Saskatoon, SK [REDACTED]

## SENT VIA EMAIL

Re: Development Permit Denial: ACC-2025-03869  
Proposal: Detached Accessory Building  
Site Address: 3333 Ortona Street  
Zoning District: R2 – Low Density Residential District 2  
Neighbourhood: Montgomery Place

The Planning and Development Division has reviewed your Development Permit application. After review, the following deficiencies has been noted with the City of Saskatoon's Zoning Bylaw 9990:

1. Requirement: As per section 5.1.2(4)(b) states the area of the attached garage and the total floor area of all detached accessory buildings shall not exceed the above grade floor area of the principal building.

Proposed: The proposed detached accessory building is shown at 83.61 square metres.

As per building permit # 1775/1959, the dwelling has a above grade floor area of approximately 88.667 square metres. Under building permits #1135/1962 and #3802/2015, the existing attached garages and breezeway combined equal approximately 102.402 square metres.

Deficiency: This results in the total floor area of all detached and attached accessory buildings exceeding the dwelling area by 97.35 square metres.

As consequence, the Planning and Development Division cannot approve your plans for a Development Permit.

If you wish to proceed with a development appeal request for the Zoning Bylaw deficiencies noted, please fill out the online Development Appeal application form available through the following link: <https://capps.saskatoon.ca/development-appeals/> within 30 days of the date of this letter. Note there is an application fee of \$50 for this process. Attached to this email is general information about the Development Appeal process, as well as an excerpt from *The Planning and Development Act, 2007*.

If you have any questions about this information, please let me know.

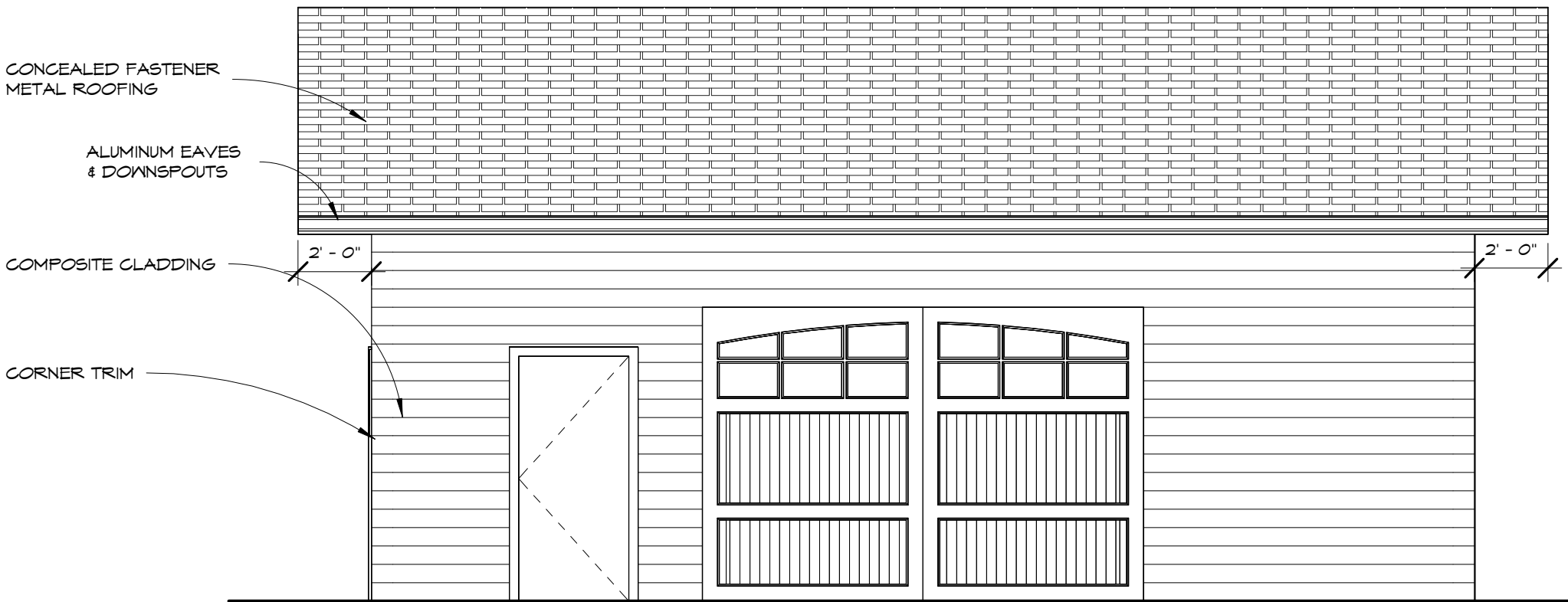
Sincerely,

A handwritten signature in dark ink, appearing to read 'Vanessa Champagne', with a long horizontal flourish extending to the right.

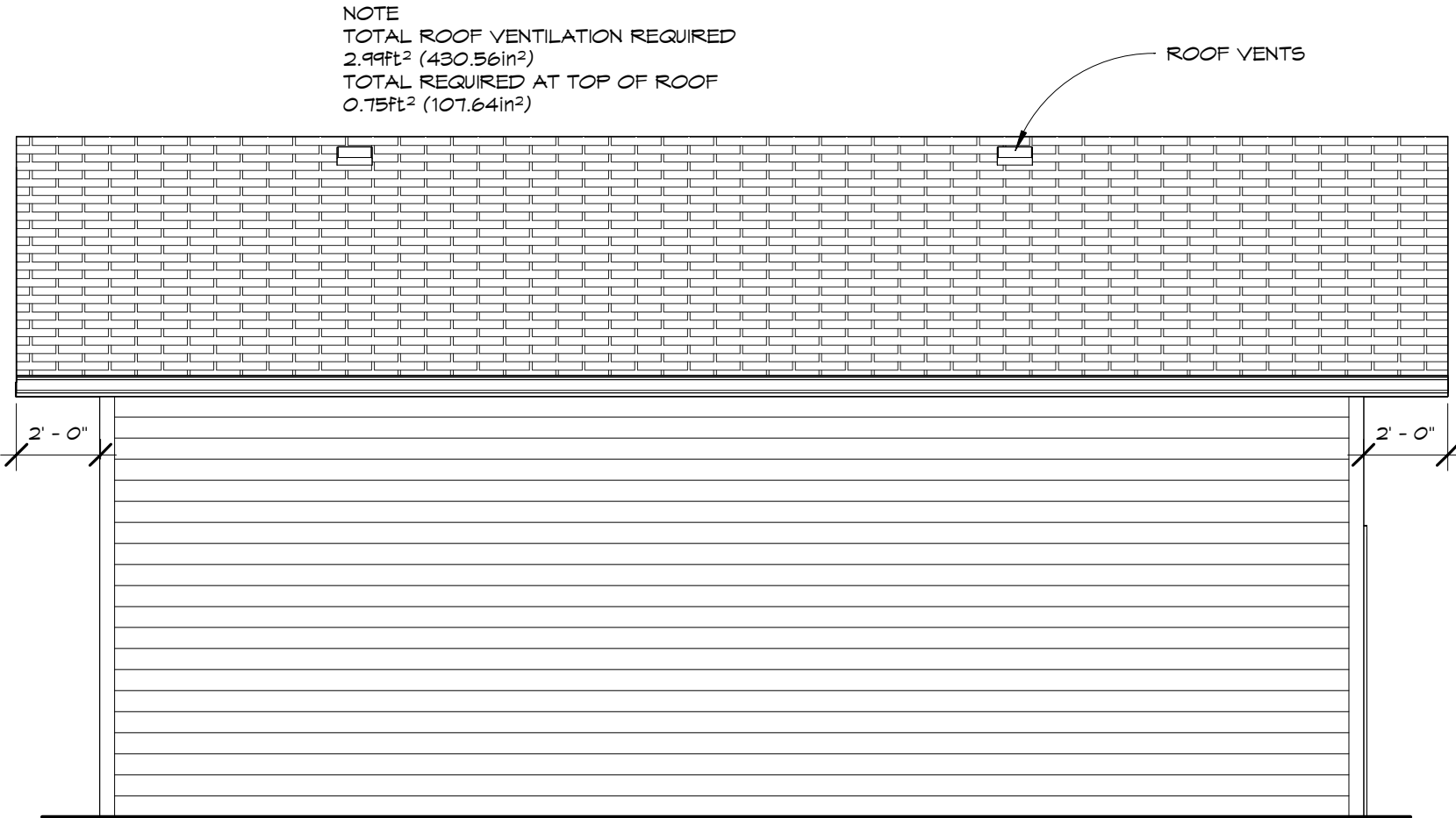
Vanessa Champagne  
Planning and Development Division (306-975-2659)  
[vanessa.champagne@saskatoon.ca](mailto:vanessa.champagne@saskatoon.ca)

cc: Brent McAdam, Planning and Development  
Development Appeal Board Secretary, City Clerks

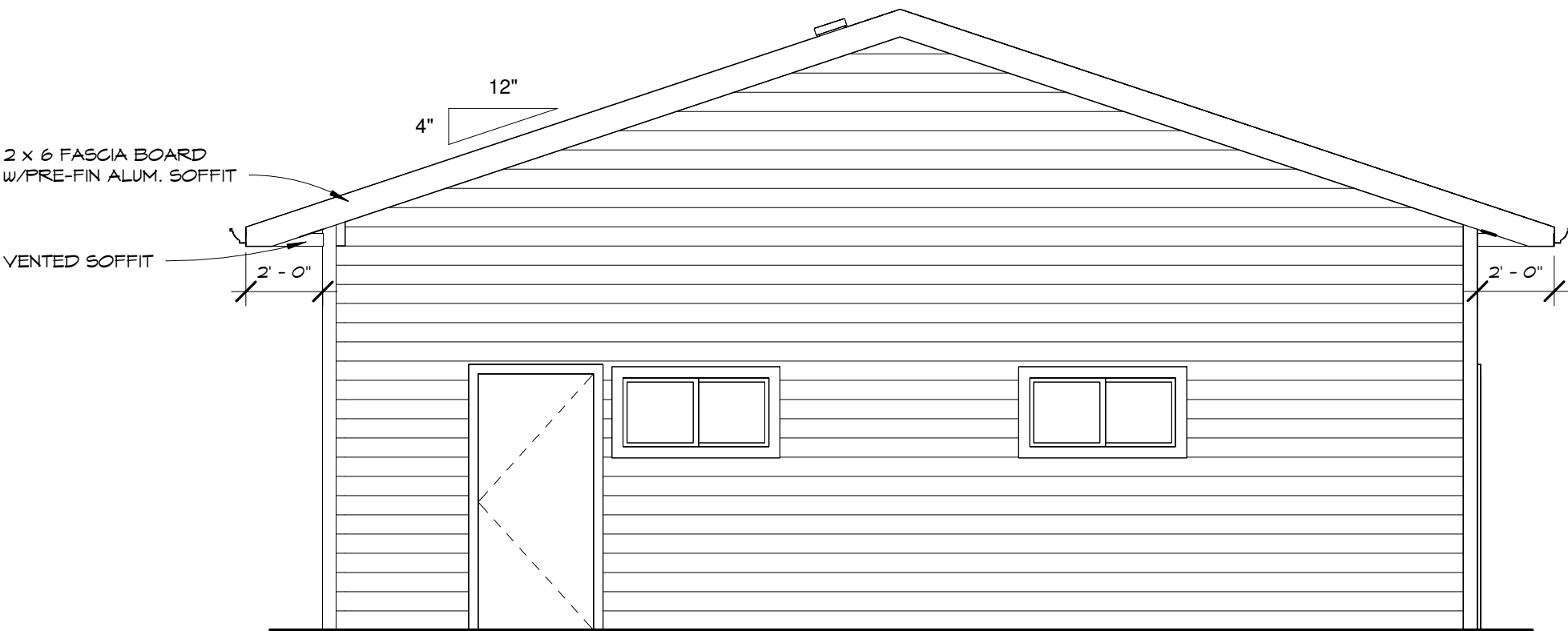




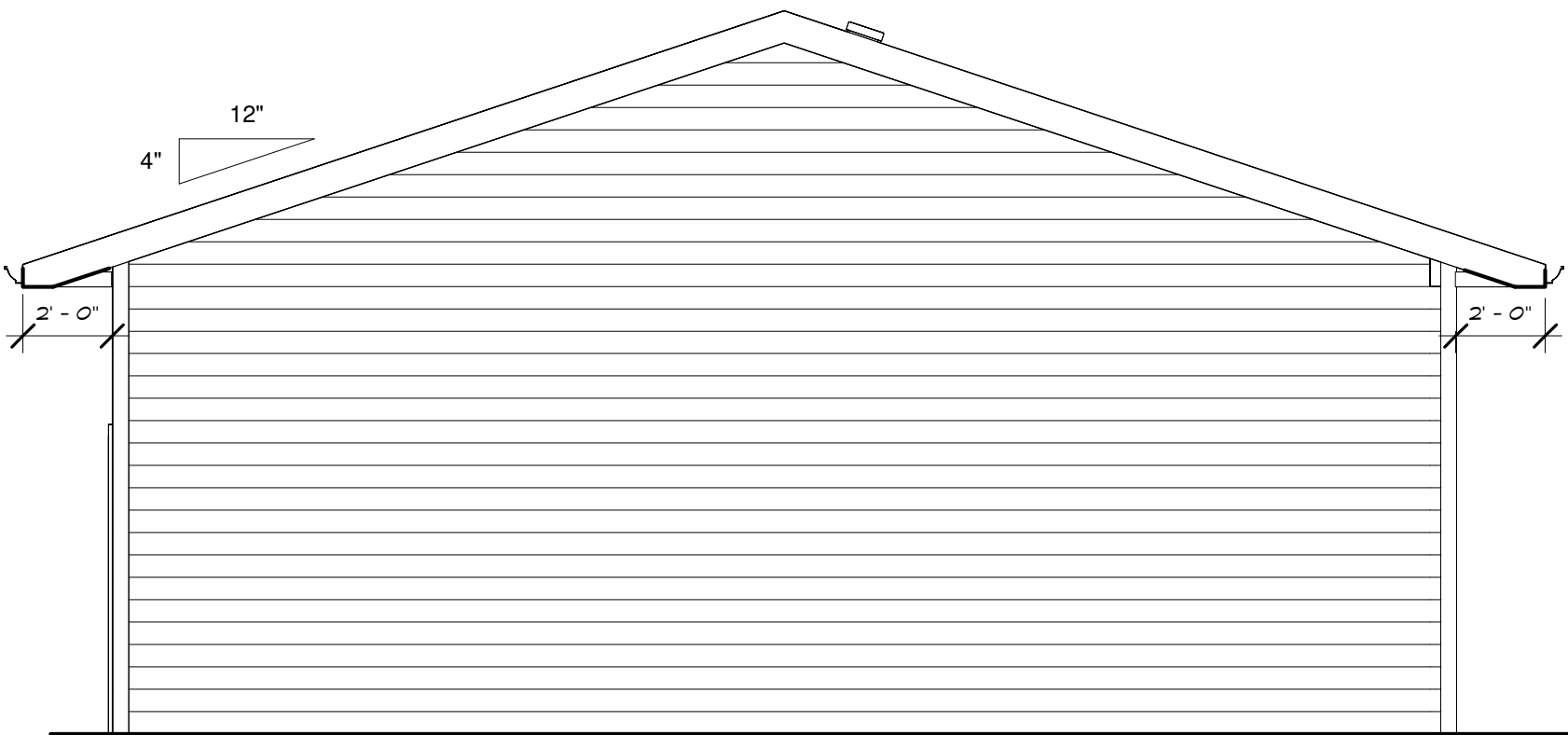
2 **Front Elevation**  
1/4" = 1'-0"



3 **Rear Elevation**  
1/4" = 1'-0"



4 **Left Elevation**  
1/4" = 1'-0"



5 **Right Elevation**  
1/4" = 1'-0"

3333 ORTONA STREET  
SASKATOON, SASKATCHEWAN.  
Drawing List  
A1 Elevations  
A2 Main Floor Plan  
A3 Sections & Details

CONTACT@UCG-ANS.COM  
PH: (306) 875-2566  
LUTYMANSTER, AB

**UCG**  
UNIVERSAL CONSULTING GROUP LTD.

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Association of Professional Engineers & Geoscientists  
of Saskatchewan  
CERTIFICATE OF AUTHORIZATION  
Techtree Engineering Ltd.  
Number 48073  
Permission to Consult held by:  
Discipline: Structural  
St. Reg. No.: 25145  
Signature: *[Signature]*

PROFESSIONAL  
ENGINEER  
RYAN HECK  
NUMBER 22245  
2025-05-20  
SASKATCHEWAN

Revision Schedule		
Revision Date	Rev	Revision Description
2025/05/14	1	Issued for Review
2025/05/15	2	Issued for Permit

PROJECT  
Custom Residential  
Garage (30' x 30')

DRAWING  
Elevations

CLIENT  
Tristan Lang

SCALE: 1/4" = 1'-0"

DATE: Issue Date

FILE: 62025-0505

DRAWN: IEO

CHECKED: KP/SAK

DWG No  
**A1**

CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED OF ANY DISCREPANCIES AND VARIATIONS SHOWN ON DRAWING QUOTE SCALE DRAWINGS.

CONTACT@UCG-ANS.COM  
PH: (306) 875-2566  
LUTYMINSTER, AB

UCG

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Association of Professional Engineers & Geoscientists  
of Saskatchewan  
CERTIFICATE OF AUTHORIZATION  
Techtree Engineering Ltd.  
Number 48073  
Permission to Consult held by:  
Discipline: Structural, St. Reg. No.: 25145, Signature: [Signature]

PROFESSIONAL ENGINEER  
RYAN HECK  
NUMBER 22445  
2025-05-20  
SASKATCHEWAN

ENGINEER

Revision Schedule		
Revision Date	Rev	Revision Description
2025/05/14	1	Issued for Review
2025/05/15	2	Issued for Permit

PROJECT  
Custom Residential  
Garage (30' x 30')

DRAWING  
Main Floor Plan

CLIENT  
Tristan Lang

SCALE: 1/4" = 1'-0"

DATE: Issue Date

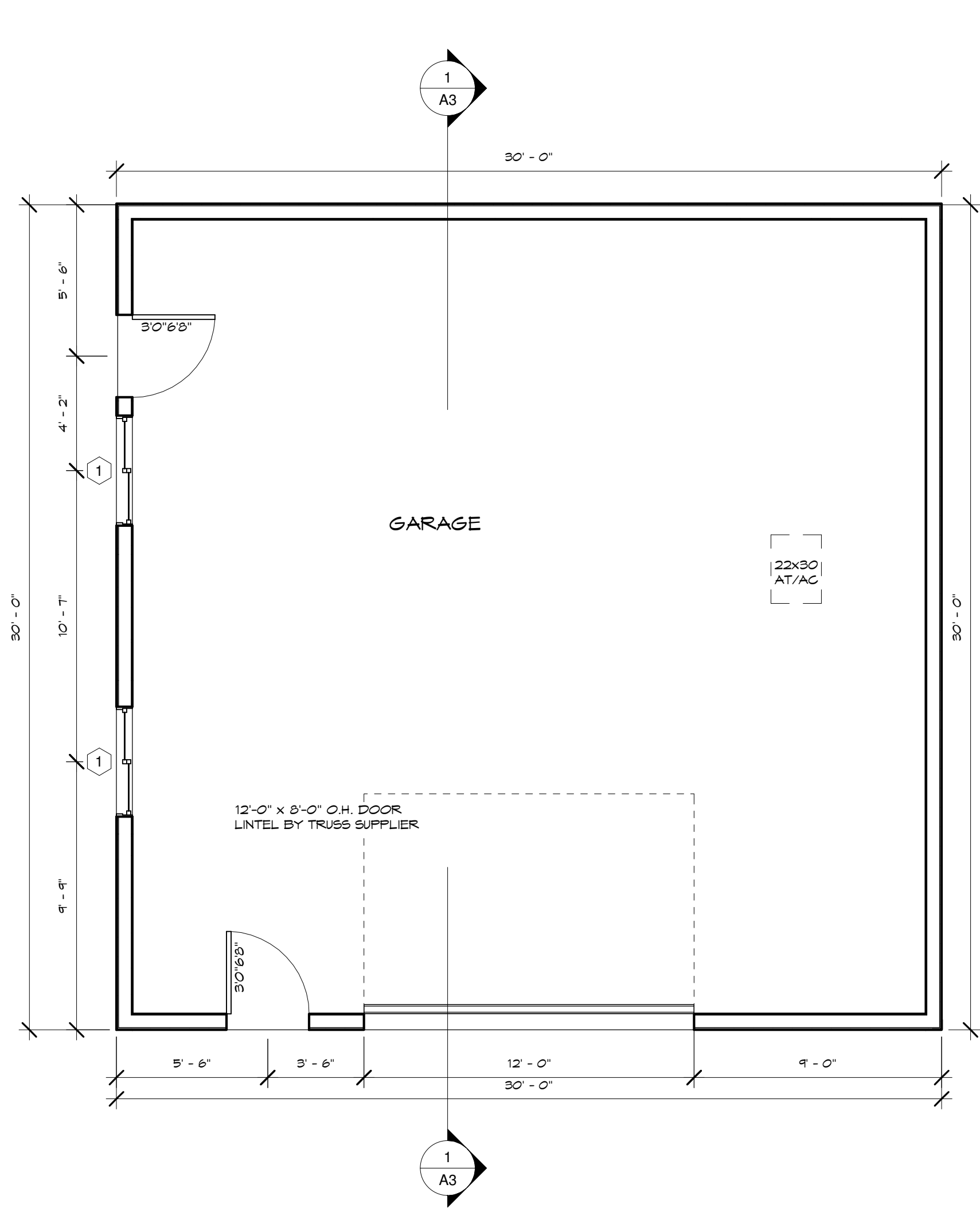
FILE: 62025-0505

DRAWN: IEO

CHECKED: KP/SAK

DWG NO

A2



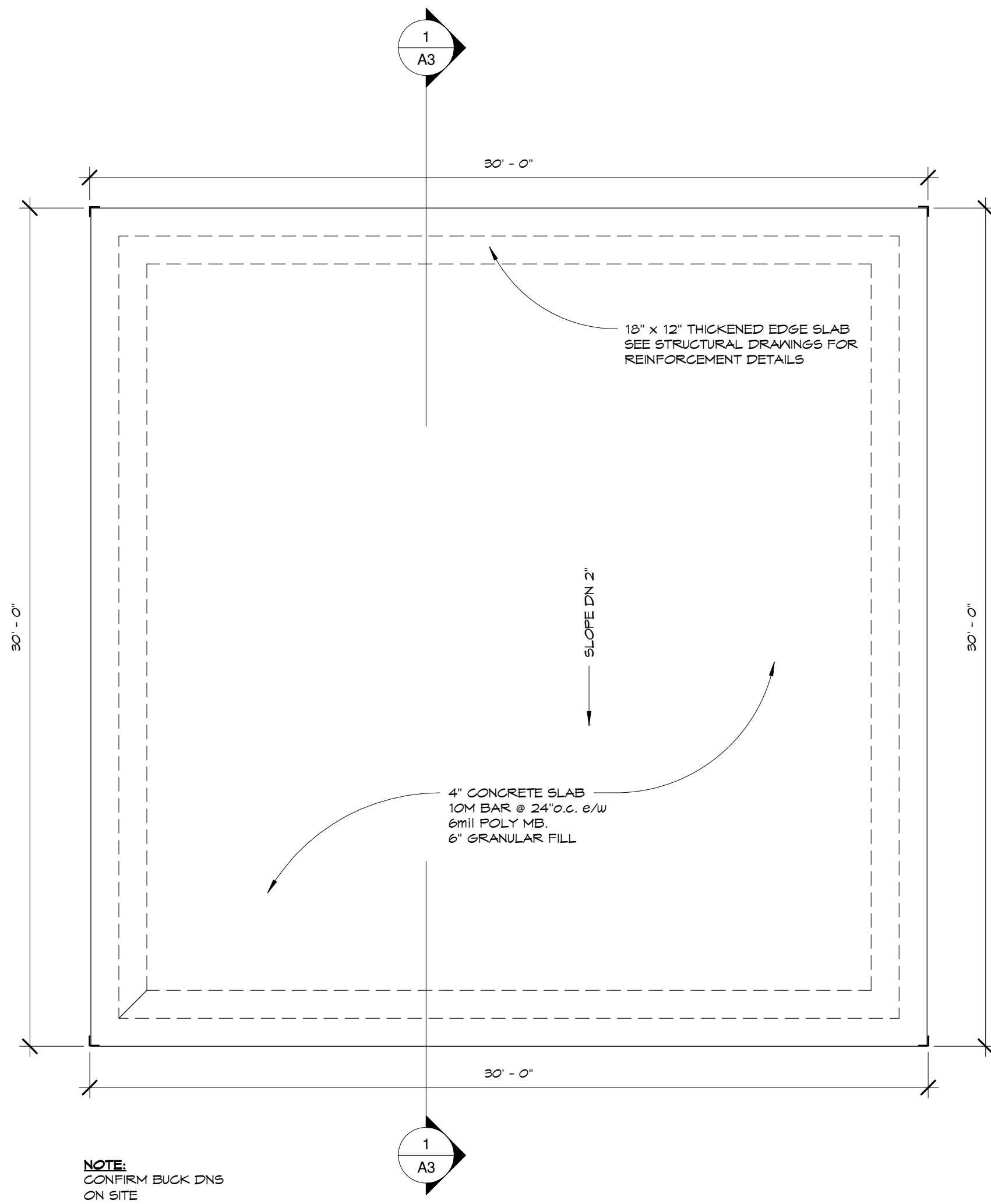
1 Main Floor Plan  
1/4" = 1'-0"  
AREA: 900ft<sup>2</sup>

Window Schedule				
Type Mark	Count	Width	Height	Comments
1	2	4' - 0"	2' - 0"	Casement/Fixed

NOTE:  
CONFIRM R.O.'S w/SUPPLIER

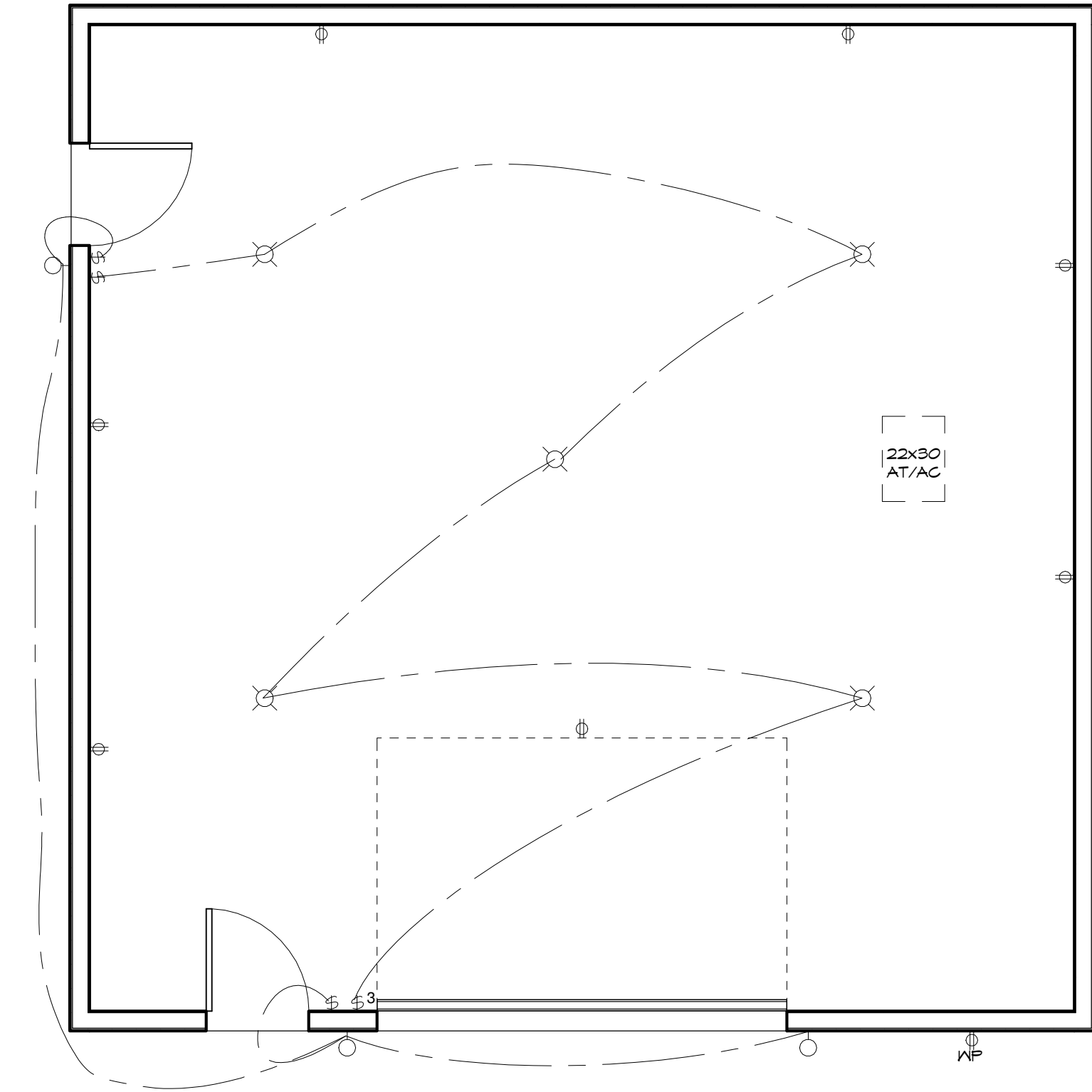
NOTES:

- #1) ALL LUMBER IS SPF #2 OR BETTER UNLESS OTHERWISE NOTED.
- #2) CONFIRM ELECTRICAL LAYOUT w/OWNER PRIOR TO FRICING.
- #3) BEAMS AS NOTED OR ENGINEERED BEAMS BY FLOOR SUPPLIER (TIMBERSTRAND OR EQUAL).
- #4) EXACT FURNACE & H.V.T. LOCATIONS DETERMINED ON SITE w/INSTALLING CONTRACTOR.
- #5) CONFIRM ELECTRICAL SERVICE ENTRY & PANEL LOCATION w/UTILITY COMPANY & OWNER.
- #6) PROVIDE SOLID BLOCKING TO FOUNDATION AT ALL POINT LOAD LOCATIONS.
- #7) PROVIDE LINTELS IN JOIST SPACE AS REQUIRED.
- #8) PILES & GRADE BEAM TO BE 32MPa CONCRETE.
- #9) CONFIRM FINAL LOCATION OF KITCHEN WINDOW w/KITCHEN CABINET SUPPLIER, ADJUST TO ALIGN w/CENTER OF SINK CABINET.
- #10) HANDRAIL REQUIRED ON INTERIOR STAIRS WITH MORE THAN TWO RISERS AND ON EXTERIOR STAIRS WITH MORE THAN THREE RISERS.
- #11) GUARDS ARE REQUIRED FOR DECKS AND LANDINGS WHERE THE DIFFERENCE IN ELEVATION TO ADJACENT SURFACES IS GREATER THAN 600mm (24").
- #12) REQUIRED GUARDS SHALL NOT BE LESS THAN 900mm (36") HIGH.
- #13) CONFIRM FINAL FLOOR JOIST/BEAM SIZING DESIGN w/FLOOR SYSTEM MANUFACTURER/SUPPLIER.
- #14) REQUIRED INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (36") HIGH.
- #15) REQUIRED EXTERIOR GUARDS SHALL NOT BE LESS THAN 1010mm (42") HIGH WHERE THE DIFFERENCE IN ELEVATION IS 1800mm (11').
- #16) PROVIDE ATTIC VENTILATION TO 4.14.1.2. 2020 NBC.



NOTE:  
CONFIRM BUCK DNS ON SITE

2 Foundation Plan  
1/4" = 1'-0"



3 Electrical Plan  
1/4" = 1'-0"



AND REPRODUCTION OF THE ILLUSTRATIONS OR WORKING DRAWINGS IS STRICTLY PROHIBITED. UNIVERSAL CONSULTING GROUP LTD. PERMITS THE PURCHASER OF THESE PLANS THE RIGHT TO CONSTRUCT ONLY ONE STRUCTURE AND THESE PLANS CANNOT BE RESOLD.


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of Saskatchewan

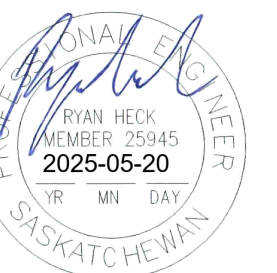
CERTIFICATE OF AUTHORIZATION

Techtree Engineering Ltd.

Number 48073

Permission to Consult held by:

Discipline	Sk. Reg. No.	Signature
Structural	25945	



מחלקת המחקר והפיתוח

Revision Date	Rev	Revision Description
2025/05/14	1	Issued for Review
2025/05/15	2	Issued for Permit.

Custom Residential  
Garage (30' x 30')

## Sections & Details

Tristan Lang

SCALE: As indicated

DATE: Issue Date

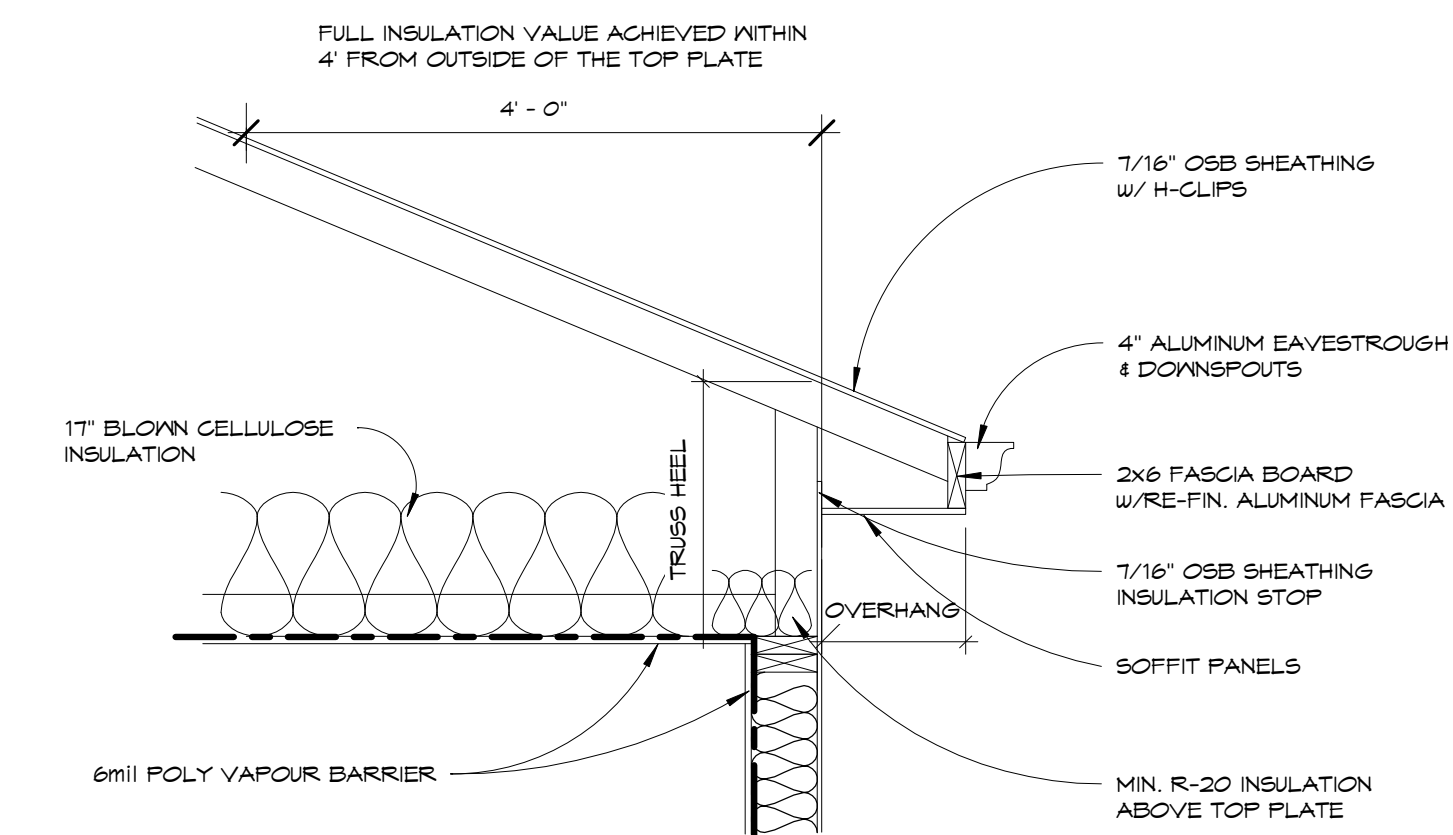
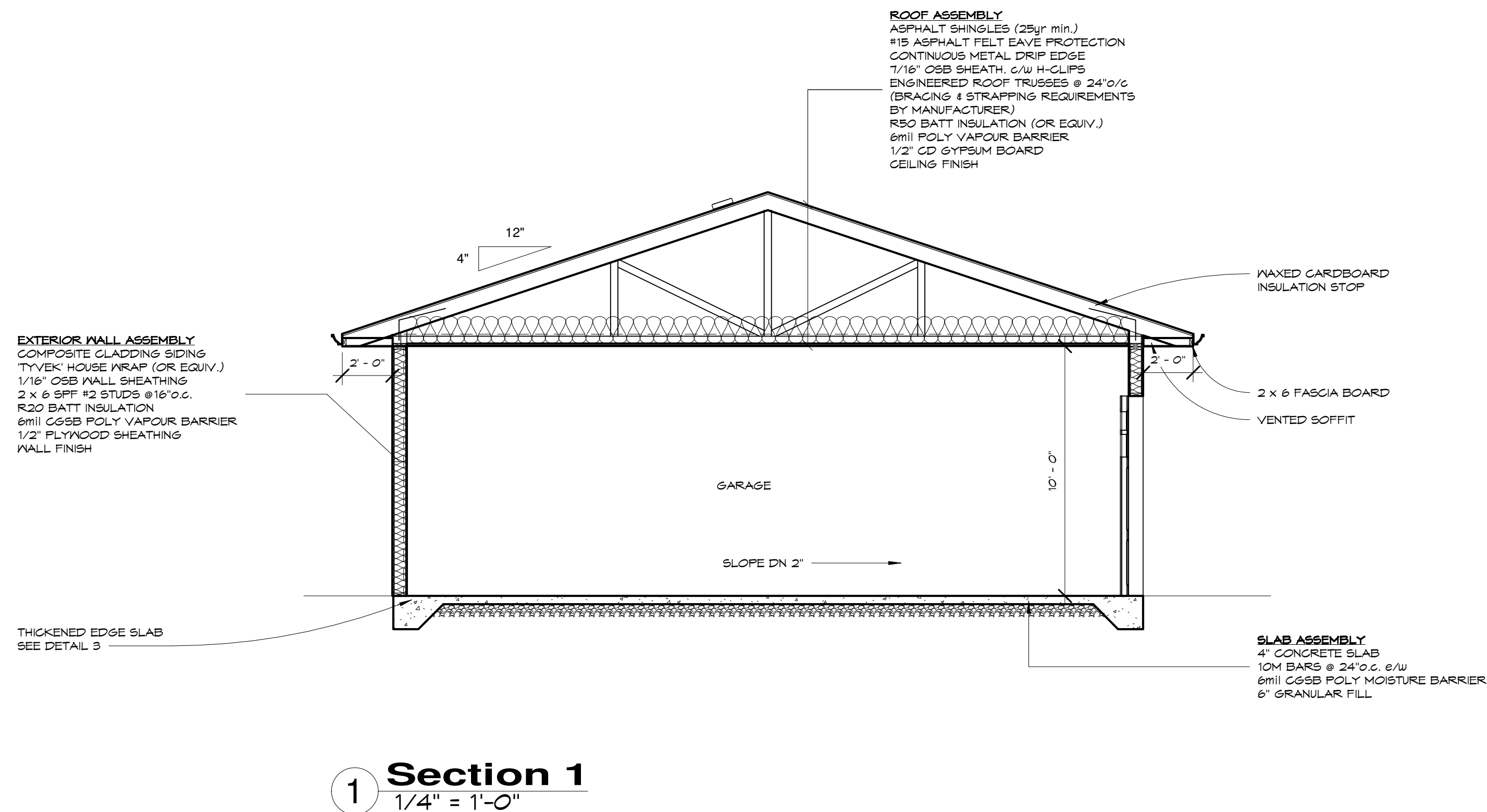
FILE: G2025-0505

DRAWN: IEO

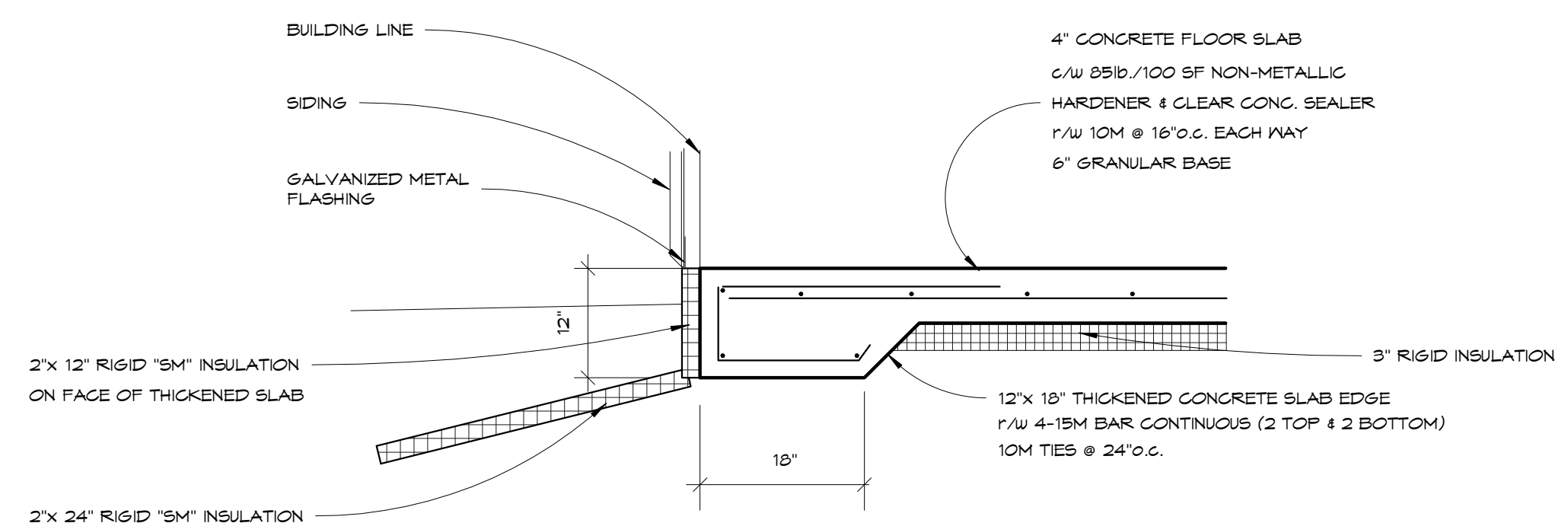
CHECKED: KP/SAK

DWG No \_\_\_\_\_

# A3

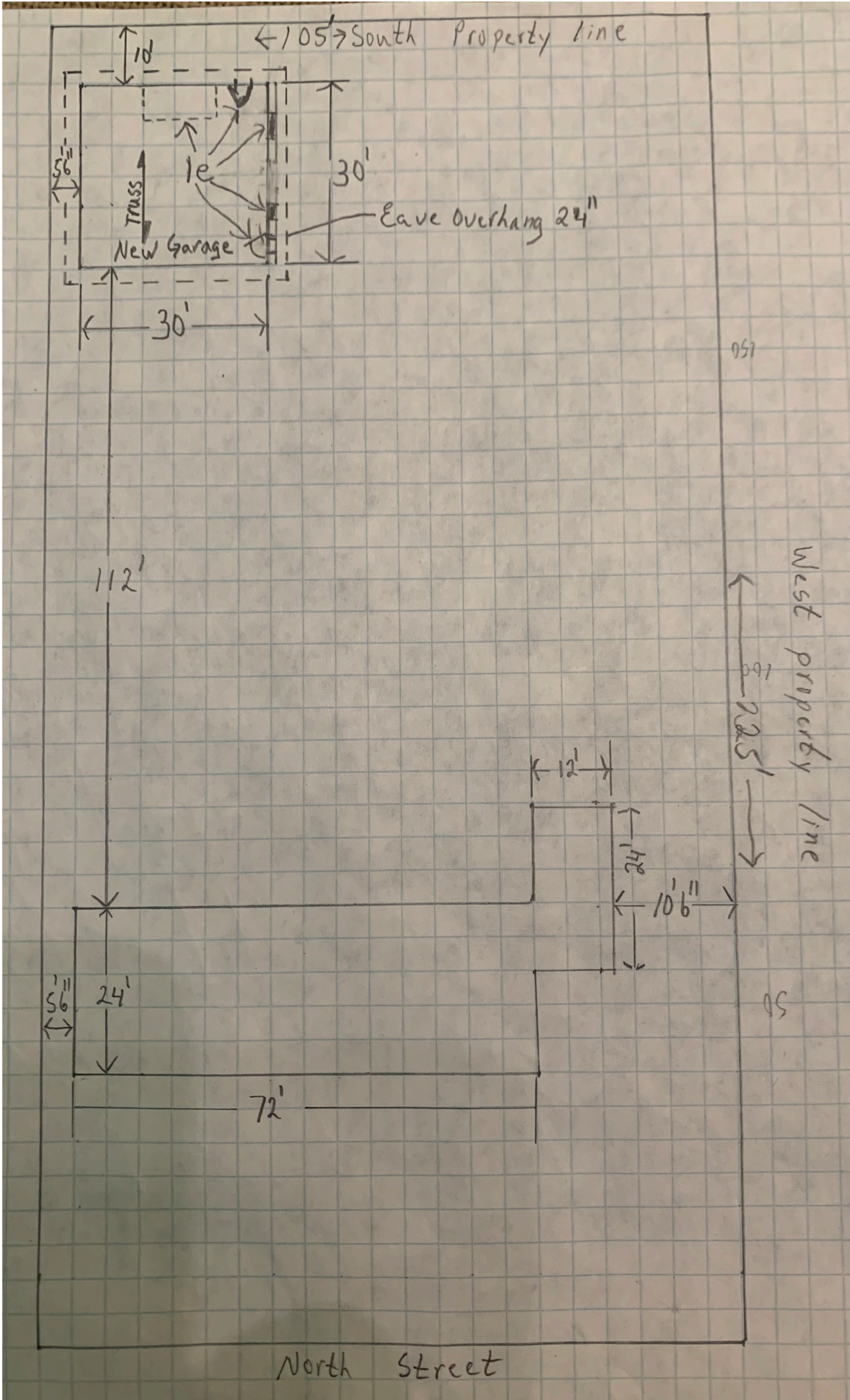


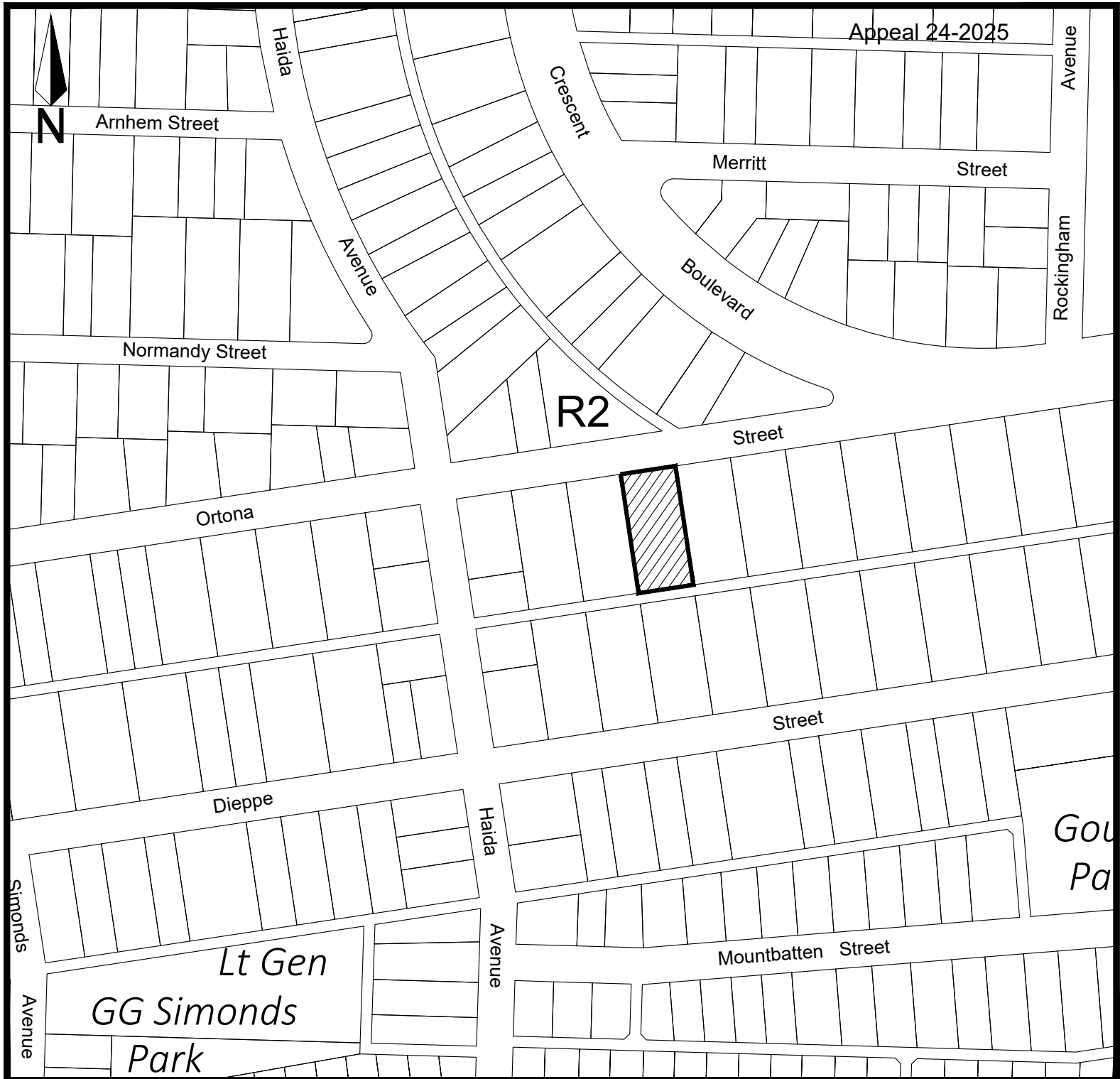
## 2 Eave Detail



### 3 Thickened Edge Slab Detail







# DEVELOPMENT APPEAL - LOCATION PLAN

ADDRESS: 3333 Ortona Street

**R.3**

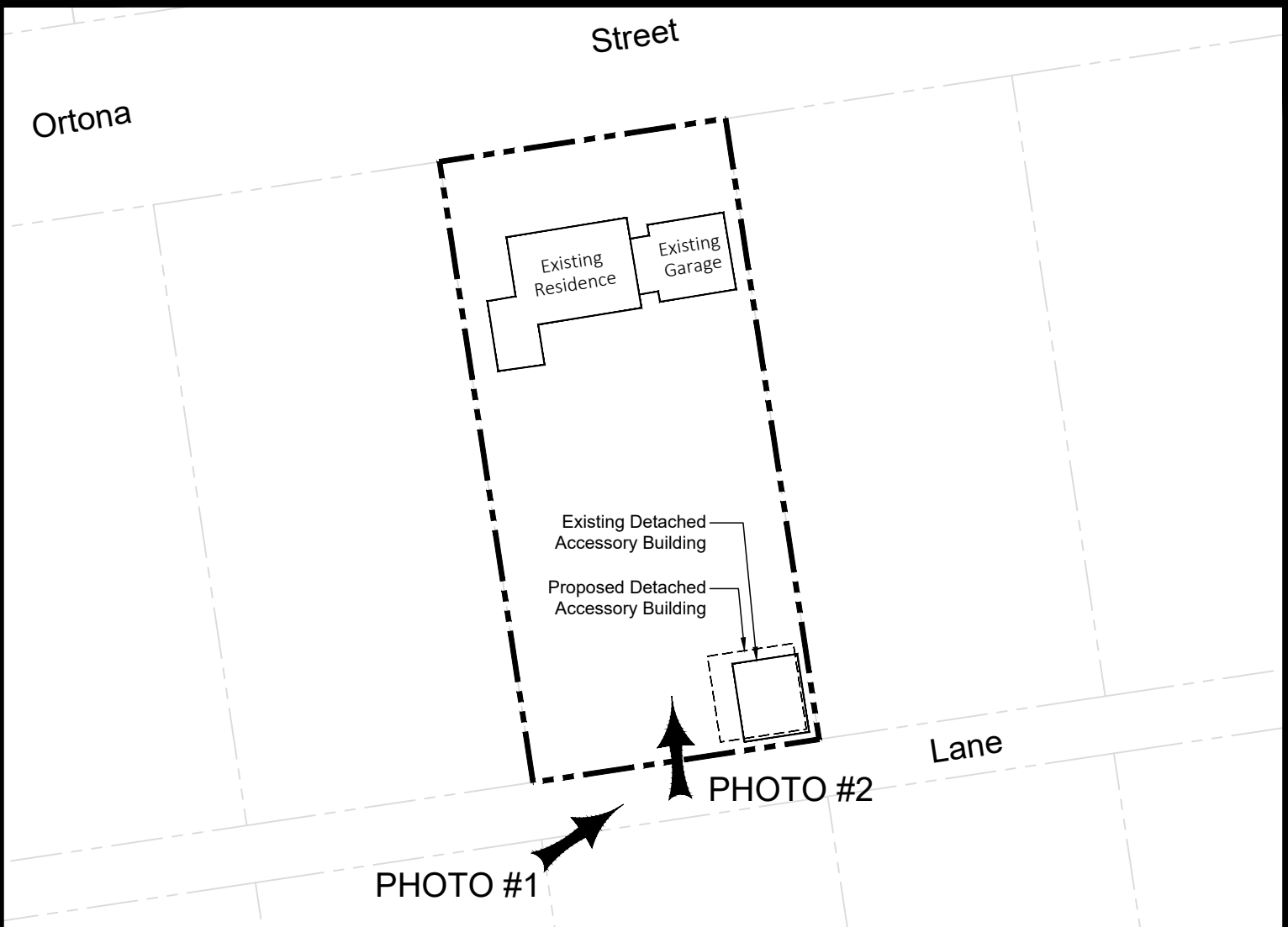
LOT: 18

BLOCK: 15

PLAN: G831

Received  
City Clerk's Office  
August 8, 2025





**Requirement:** Section 5.1.2(4)(b) states the area of the attached garage and the total floor area of all detached accessory buildings shall not exceed the above grade floor area of the principal building.

**Proposed:** The proposed detached accessory building is shown at 83.61 square metres.

As per building permit No. 1775/1959, the dwelling has an above-grade floor area of approximately 88.667 square metres. Under building permit No. 1135/1962 and No. 3802/2015, the existing attached garages and breezeway combined equal approximately 102.402 square metres.

**Deficiency:** This results in the total floor area of all detached and attached accessory buildings exceeding the dwelling area by 97.35 square metres.

DEVELOPMENT APPEAL - SITE PLAN

ADDRESS: 3333 Ortona Street

LOT: 18

BLOCK: 15

PLAN: G831



PHOTO 1



PHOTO 2



2023 AERIAL PHOTOGRAPHY





Development Appeals Board  
c/o Office of the City Clerk  
222 – 3<sup>rd</sup> Avenue North  
Saskatoon SK S7K 0J5

www.saskatoon.ca  
tel (306) 975-3240

August 1, 2025

«RGSTR\_OWNER»  
«MAILING\_ADDR\_DELIV\_ADDR1»  
«MAILING\_ADDR\_CITY»  
«MAILING\_ADDR\_PROV\_CODE»  
«MAILING\_ADDR\_POSTAL\_CODE»

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## NEIGHBOUR NOTIFICATION

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**Reference:** Development Permit Denial – Appeal No. 24-2025  
**Site:** 3333 Ortona Street  
**Proposal:** Detached Accessory Building

The above-noted appeal has been filed by **Leslie Lang on behalf of Tristan and Ashley Lang** under Subsection 219(1)(b) of *The Planning and Development Act, 2007*. This letter has been sent to you as the registered owner or property manager of a property that has been deemed as neighbouring the subject site. The Board is required by law to send a notice in order to give the neighbouring property owners opportunity to submit comments in writing regarding the appeal.

The property is zoned **R2 – Low Density Residential District2** under *Zoning Bylaw No. 9900*, and the development permit was denied due to the following deficiencies:

1. Requirement: Section 5.1.2(4)(b) states the area of the attached garage and the total floor area of all detached accessory buildings shall not exceed the above grade floor area of the principal building.  
  
Proposed: The proposed detached accessory building is shown at 83.61 square metres.  
  
As per building permit No. 1775/1959, the dwelling has an above-grade floor area of approximately 88.667 square metres. Under building permits No. 1135/1962 and No. 3802/2015, the existing attached garages and breezeway combined equal approximately 102.402 square metres.  
  
Deficiency: This results in the total floor area of all detached and attached accessory buildings exceeding the dwelling area by 97.35 square metres.

**The Development Appeals Board will hear the appeal: Tuesday, August 19, 2025, at 4:00 p.m. in Committee Room E. Appeal hearings are open to the public.**

For additional information please refer to the website at **www.saskatoon.ca** (select City Hall, City Council, Boards & Committees, Agendas, Minutes & Video, Development Appeals Board) or contact the Secretary at (306) 975-3240.

If you wish to provide written comments regarding this matter you are required to submit a letter including your name and full address to the Secretary, Development Appeals Board, City Clerk's Office, City Hall, Saskatoon, Saskatchewan, S7K 0J5 or email **development.appeals.board@saskatoon.ca**.

Development Appeals Board  
Appeal 2019 -

**Submissions providing comments and/or requests to speak must be received in the City Clerk's Office by noon the day of the hearing.** Please note that your letter and written comments are a public document and will be provided to the parties of the appeal in advance of the hearing.

**Debby Sackmann, Secretary**  
Development Appeals Board