



**NOTICE OF HEARING  
OPEN TO THE PUBLIC  
DEVELOPMENT APPEALS BOARD**

April 29, 2025, 4:00 pm  
Committee Room E, Ground Floor, City Hall

*(Please contact the City Clerk's Office at 306.975.3240 for further information).*

- 1. CALL TO ORDER**
- 2. APPEAL HEARINGS**
  - 2.1 Appeal 12-2025 - Development Permit Denial - 1205 Spadina Crescent East**
  - 2.2 Appeal 13-2025 - Development Permit Denial - 303 Evergreen Boulevard**
- 3. ADJOURNMENT**

A.1

March 26, 2025

City of Saskatoon Development Appeal Application- page 2

**THIS PAGE WILL FORM PART OF THE PUBLIC RECORD FOR THE APPEAL**

**Applicant Name:** Winston Mah

**Registered Property Owner(s):**  
**(if different from above):** \_\_\_\_\_

**Location of Subject Property**

**Legal Description**

Lot (s) \_\_\_\_\_ Block \_\_\_\_\_ Plan No. \_\_\_\_\_

Civic Address: 1205 Spadina Crescent East

**Present Status of Building or Structure Under Appeal:**

Construction not yet begun     Under Construction     Completed

**Type of Construction:**

Residential     Commercial     Industrial     Other (specify) Residential

**Description of Development Appeal:** (example: side yard deficiency, parking deficiency, etc.)

Development Permit Denial: NHS-2024-09117 Proposal: New One Unit Dwelling Site  
Address: 1205 Spadina Cres E Neighbourhood: North Park (Category 1 Established  
Neighbourhood) Zoning District: R2 – Low Density Residential District 2

**Reason for Development Appeal:** (as per *The Planning and Development Act, 2007*, applicants have 5 days prior to the appeal hearing date to submit drawings and written materials)

\_\_\_\_\_  
See Supporting Document 3 documents

**BOTH SIDES OF THIS FORM MUST BE COMPLETED**

March 25, 2025

Rod Sawatzky

██████████  
Warman, SK ██████████

**SENT VIA EMAIL**

Re: Development Permit Denial: NHS-2024-09117  
Proposal: New One Unit Dwelling  
Site Address: 1205 Spadina Cres E  
Neighbourhood: North Park (Category 1 Established Neighbourhood)  
Zoning District: R2 – Low Density Residential District 2

The Planning and Development Division has reviewed your Building and Development Permit application for an Accessory Building. After review, the following deficiency has been noted with the City of Saskatoon's Zoning Bylaw 9990:

1. Requirement: Section 8.4.4 (3)(a) states:  
"The front yard setback requirement for OUDs, TUDs, SDDs and MUDs containing up to four dwelling units in established neighbourhoods shall not vary by more than 3 metres from the average front yard setback of the principal buildings on adjacent flanking sites, provided that in no case shall the setback be less than 6 metres."

The adjacent properties have existing front yard setbacks of:

1207 Spadina Cres E = 13.21m

1203 Spadina Cres E = 10.27m

Average = 11.74m

Based on the average front yard setback of the adjacent properties (11.74m), the minimum front yard setback shall not be less than 8.74m (11.74m – 3m).

Proposed: The proposed One Unit Dwelling has a front yard setback of 6.555m.

Deficiency: This proposed front yard setback is deficient 2.185m (7.168ft).

2. Requirement: Section 8.4.2 states the minimum rear yard setback for a One Unit Dwelling on an interior site is 7.5m.

Proposed: The proposed One Unit Dwelling has a rear yard setback of 4.775m.

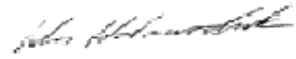
Deficiency: This proposed front yard setback is deficient 2.725m (8.94ft).

As consequence, the Planning and Development Division cannot approve your plans for a Development Permit.

I understand you wish to appeal this decision to the Development Appeal Board. To proceed with an appeal request please fill out the online Development Appeal application form available through the following link: <https://capps.saskatoon.ca/development-appeals/> within 30 days of the date of this letter. Note there is an application fee of \$50 for this process. Attached to this email is general information about the Development Appeal process, as well as an extract from the Planning and Development Act 2007.

If you have any questions about this information, please let me know.

Sincerely,



Wes Holowachuk  
Planning and Development Division (306-975-7905)  
[Wes.Holowachuk@Saskatoon.ca](mailto:Wes.Holowachuk@Saskatoon.ca)

cc: Brent McAdam, Planning and Development  
Development Appeal Board Secretary, City Clerks  
Winston Mah, Property Owner



*March 26, 20-*

## 1205 Spadina Cres East Affirmation

Winston Mah the owner has approached me with regards to a new build of a single-family dwelling at 1205 Spadina Cres. He has shared his building floor plans and I have no issues with these drawings, and he has my support in building his single-family bungalow dwelling at 1205 Spadina. I have no concerns over the setbacks in his proposed plans.

Thanks

Priscilla Mah

[REDACTED]

*property owner [REDACTED] and [REDACTED] Spadina Cres E*

## 1205 Spadina Cres

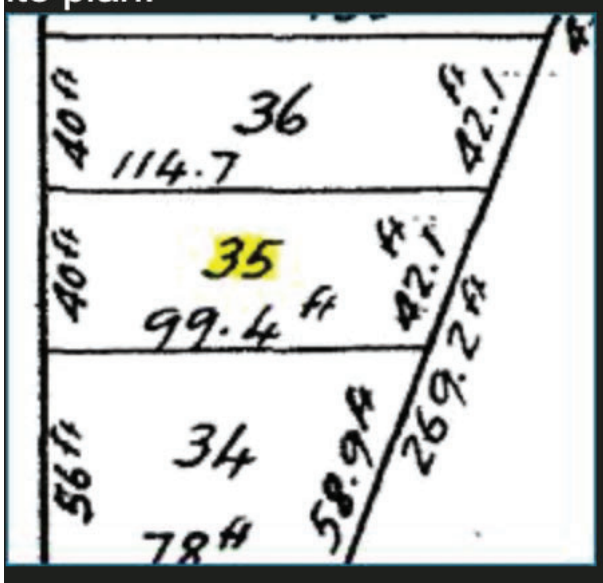
Summary. Permit to build a new single-family dwelling at 1205 Spadina Cres East was denied for the following reasons.

1. Regulation: Section 8.4.4(3)(a) 8.74 Metres front set back
2. Section 8.4.2(1) 7.5 metre set back in the rear.

Today we are looking to appeal the permit denial based on the following reasons

### **Application for Appeal:**

1. Odd shaped lot with grading concerns. The unique shape of the lot and the lack of site depth, particularly on the south side yard, provide significant challenges to building a sensitive infill within the allowable footprint as permitted by the zoning bylaw. Having a rear set back of 7.5 metres (24.6 feet) and a front set back 8.74 (28.7 feet) metres would leave 47 feet of usable space and is generally in alignment with the existing form of the surrounding area.
2. There is a slope along the front of the property that prevents from building to the front of the lot without considerable engineering design and earth restructuring.
3. Lot 3 [REDACTED] Spadina Cres) and 3 [REDACTED] Spadina Cres) is owned by Priscilla Mah and is supportive of the proposed site design and layout.
4. The plan is also to build a basement suite and having a bungalow basement would allow for a secondary suite to help add an additional residence to the available pool of housing.
5. House still conforms to the 40% coverage limits.



### 1. Not grant special privilege

Granting this appeal would not grant special privilege as the reason we are seeking an exemption is due to an odd-shaped lot to put up a bungalow with a basement suite.

Having large setbacks in the front are not characteristics of houses in established areas as many houses have street presence and having large setbacks would make it feel cavernous. By having a bungalow, it would better suit the neighbourhood as well as my direct neighbour (bungalows) vs having a large, towering 2 story dwelling, next to 2 bungalows.

#### Advantage:

- Match neighbours building style.
- Wont tower over other houses.
- Wont block sunlight – (2 storey dwelling).
- Street presence in alignment with the surrounding area.
- Non cavernous feel.

### 2. Intent not to defeat the intent of the zoning bylaw

This proposal does not defeat the intent of the zoning bylaw as the bungalow housing form being proposed is typical of R2 zoning throughout Saskatoon, but the unique size and shape of the site prevents typical site design.

### 3. Injure neighboring properties

The proposed development is under the 40% site coverage requirement and a bungalow that reduces sidewall massing is preferred by neighbouring properties. Priscilla Mah owns the [REDACTED] property. She is favour of the building plans.

This will increase house values in the area given the status that Spadina Cres brings. The current location has houses that were built in the 60's and are decrepit and needing investments in the area and increase.

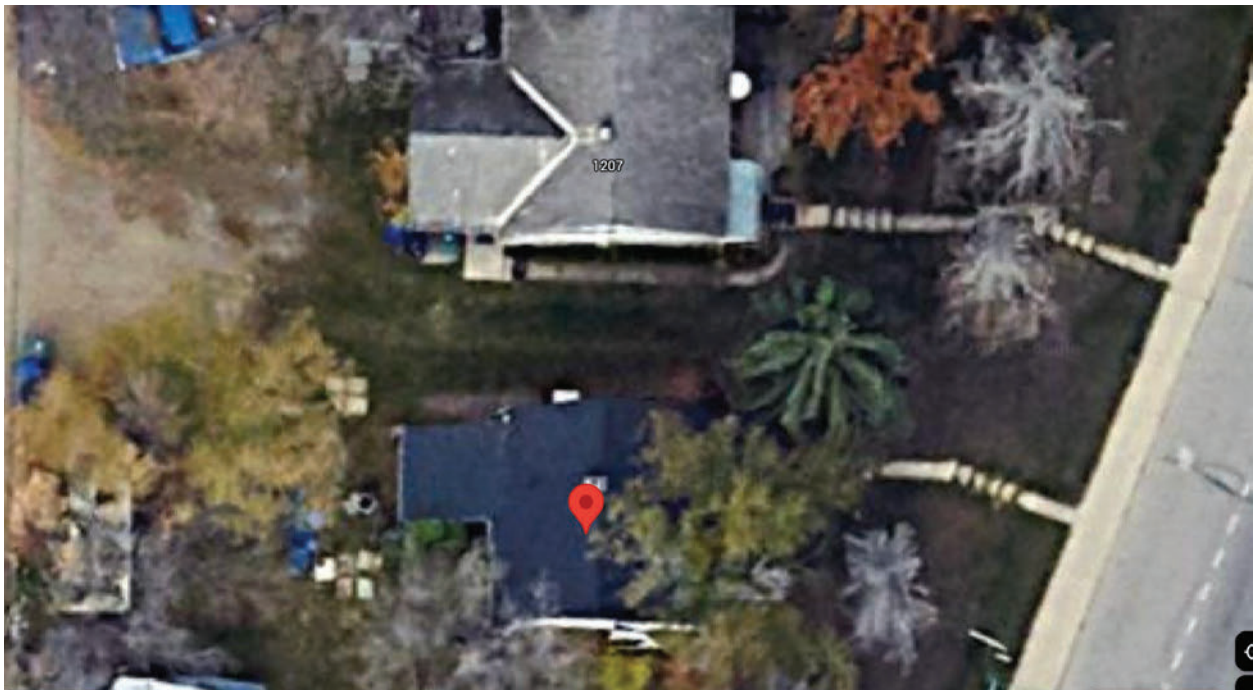
Attached is her support for the property.

#### In Summary

I am seeking an appeal to the front and rear setbacks requirements to build a single-family bungalow (with suite) that would be sensitive to the style of the neighbours. I would need an exemption to the front and rear setbacks to build a house that would follow the 40 % coverage and maintain no preferential treatment, maintain the intent of the bylaw and keep consistent with the neighbours. T

Thank you for your time and consideration

Top View of the property: Slope starts at the front tree



Front View: House fits on a slope.





March 25, 2025

# R.1

Rod Sawatzky

██████████  
Warman, SK ██████████

## SENT VIA EMAIL

Re: Development Permit Denial: NHS-2024-09117  
Proposal: New One Unit Dwelling  
Site Address: 1205 Spadina Cres E  
Neighbourhood: North Park (Category 1 Established Neighbourhood)  
Zoning District: R2 – Low Density Residential District 2

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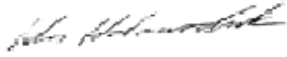
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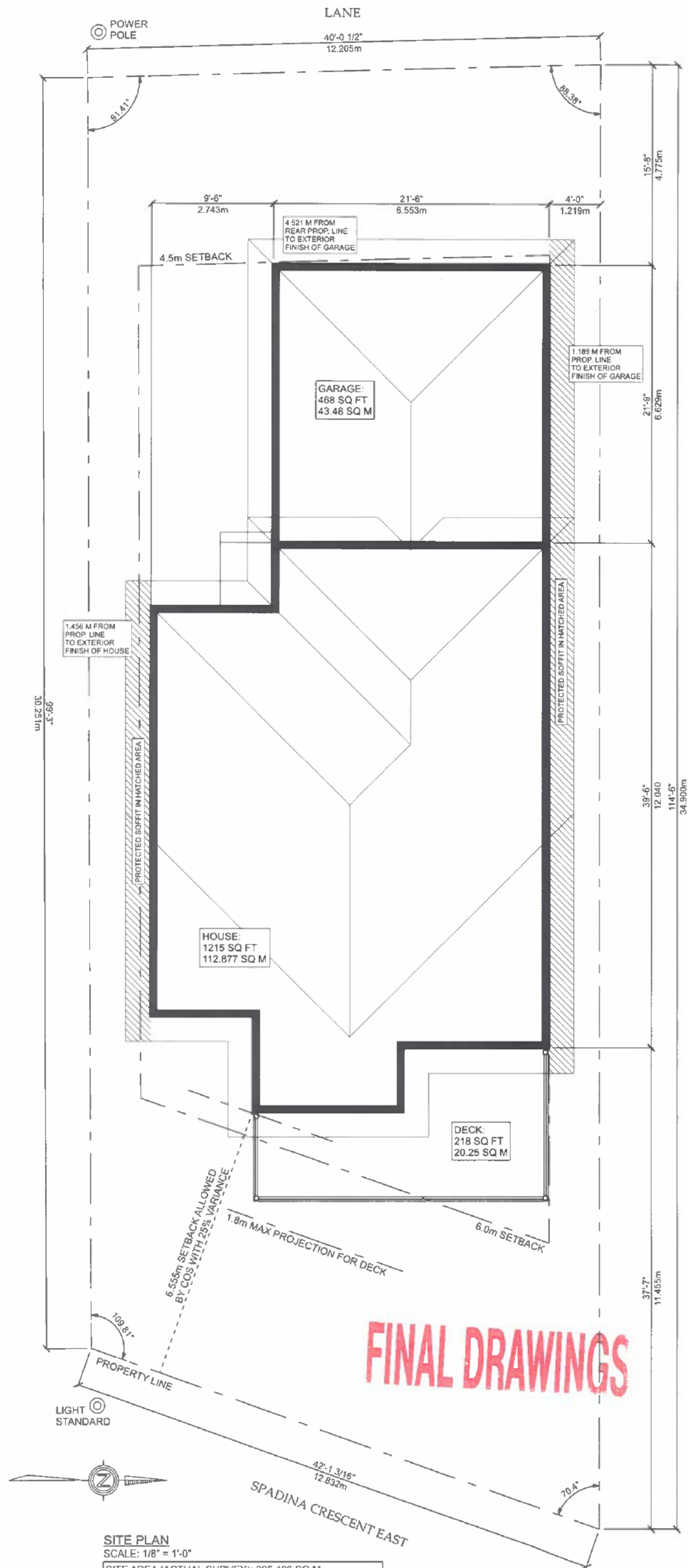
If you have any questions about this information, please let me know.

Sincerely,



Wes Holowachuk  
Planning and Development Division (306-975-7905)  
[Wes.Holowachuk@Saskatoon.ca](mailto:Wes.Holowachuk@Saskatoon.ca)

cc: Brent McAdam, Planning and Development  
Development Appeal Board Secretary, City Clerks  
Winston Mah, Property Owner



**SITE PLAN**  
SCALE: 1/8" = 1'-0"  
SITE AREA (ACTUAL SURVEY): 395.488 SQ M  
BUILDING AREA (INCLUDING EXT. FINISH): 158.121 SQ M  
LOT COVERAGE: 39.98% (45.07% WITH DECK)

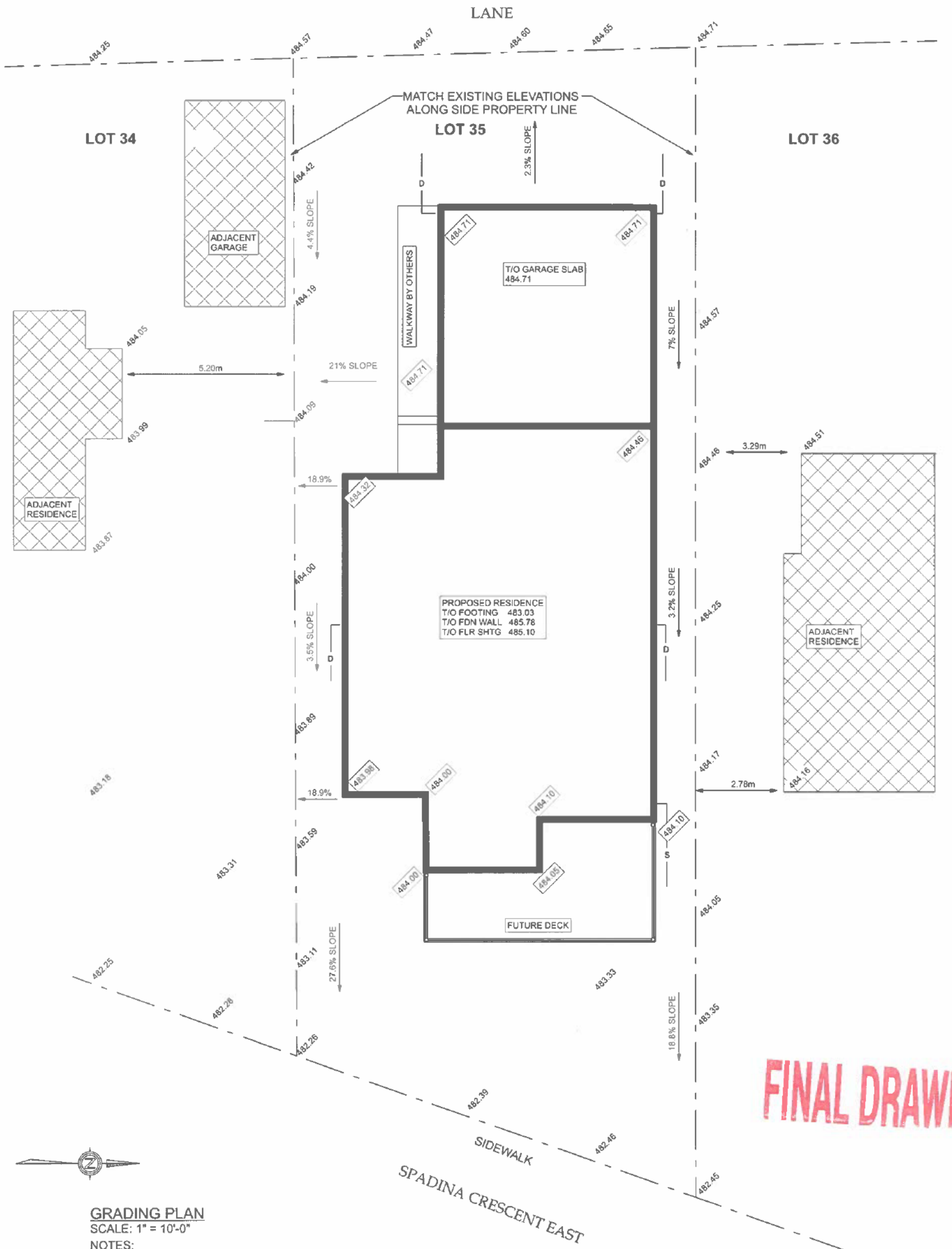
SURVEYOR TO CONFIRM ALL LOT GRADING,  
LOT DIMENSIONS, LOT ANGLES, SETBACKS AND  
LOCATION OF EASEMENTS PRIOR TO EXCAVATION

ZONING R2 - CATEGORY 1 NORTH PARK  
SETBACKS:  
FRONT: 6.0m  
REAR: 4.5m  
SIDES 0.75m

LOT: 35  
BLOCK: 14  
PLAN NO.: I196  
CIVIC ADDRESS: 1205 SPADINA CRESCENT EAST,  
SASKATOON, SK

13-Feb-2025	WH PROJECT: S2426
MAH RESIDENCE 1205 SPADINA CRESCENT EAST SASKATOON, SK	
REVISION: S2426-11	1 OF 12
DRAWN BY: KJC	





**FINAL DRAWINGS**

**GRADING PLAN**

SCALE: 1" = 10'-0"

**NOTES:**

1. ELEVATIONS ARE IN GEODETIC METERS ABOVE SEA LEVEL.
2. 200mm WIDE DRAINAGE PATH ALONG BOTH SIDE PROPERTY LINES.
3. DOWNSPOUT AND SUMP DISCHARGE TO EXTEND A MINIMUM OF 2.0m AWAY FROM FOUNDATION.
4. WHEN APPLICABLE, TOP OF WINDOW WELLS (w/w) REQUIRED TO BE 50mm ABOVE FINAL GRADE.

**LEGEND:**

- EXISTING ELEVATIONS SHOWN XXX.XX
- PROPOSED ELEVATION SHOWN XXX.XX
- SUMP DISCHARGE SHOWN
- DOWNSPOUTS SHOWN

LOT: 35  
BLOCK: 14  
PLAN NO.: 1196  
CIVIC ADDRESS: 1205 SPADINA CRESCENT EAST,  
SASKATOON, SK

**CONTACT INFORMATION**

OWNER:  
WINSTON MAH  
306-717-7032

DEVELOPER/BUILDER:  
WARMAN HOMES  
306-933-9595

13-Feb-2025	WH PROJECT: S2426
MAH RESIDENCE 1205 SPADINA CRESCENT EAST SASKATOON, SK	
REVISION: S2426-11	<b>2 OF 12</b>
DRAWN BY: KJC	



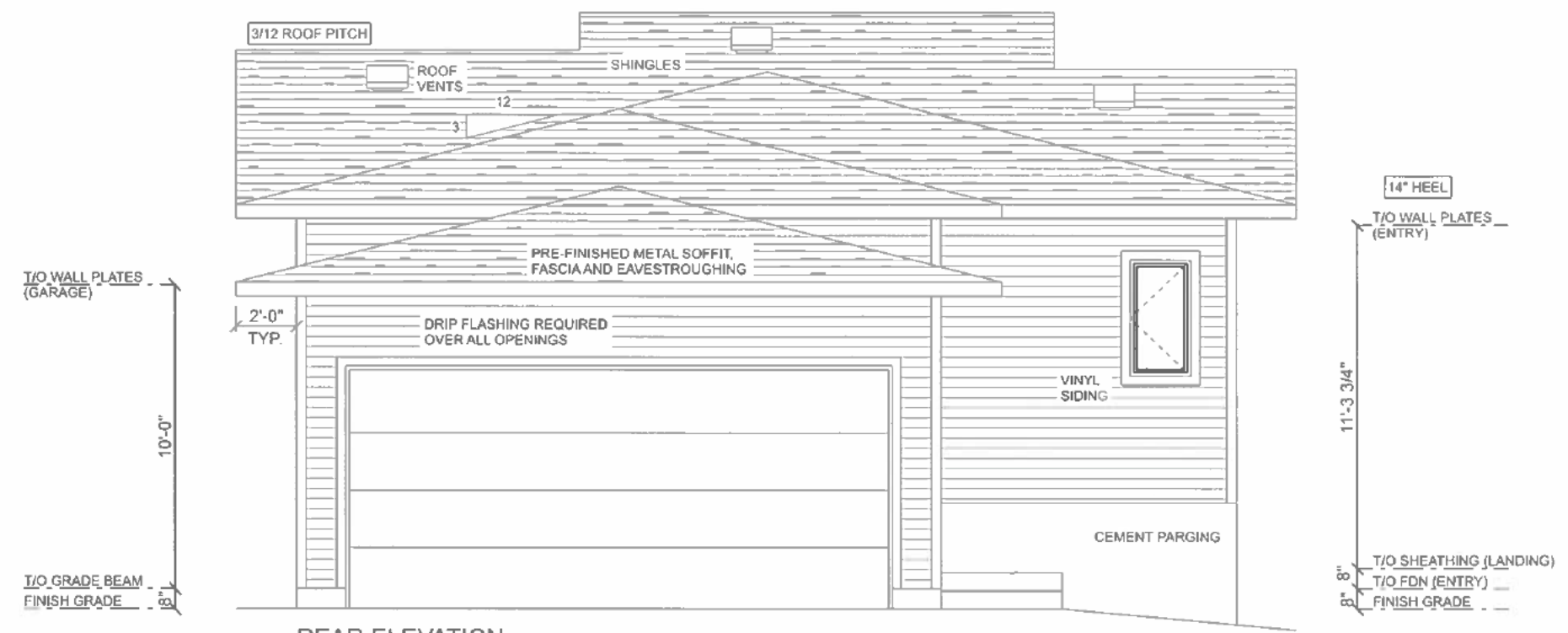
**FRONT ELEVATION**

SCALE: 3/16" = 1'-0"

3 1/2" TRIM AROUND ALL OPENINGS

Ⓡ DENOTES RESTRICTOR REQUIRED:  
 < 900mm ABOVE FLOOR AND  
 > 1800mm ABOVE FINISH GRADE

**FINAL DRAWINGS**



**REAR ELEVATION**

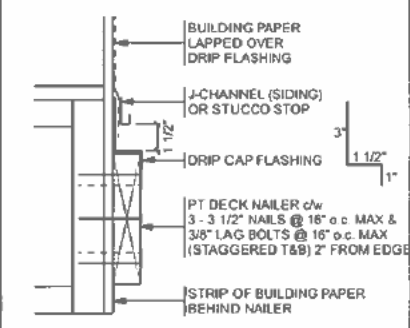
REVISION	DATE	BY
SDC	06 SEP 2024	KJC
S2426-7	10 OCT 2024	CBU
S2426-11	12 FEB 2025	CBU

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DECK NAILER DETAIL



*Build it like you own it.*  
 602 South Railway St. West 306-933-9595  
 Warman, SK S0K 4S0 info@warmanhomes.ca

MAH RESIDENCE  
 1205 SPADINA CRESCENT EAST  
 SASKATOON, SK

SIZE: 1215 SQ FT  
 DRAWN BY: KJC **3 OF 12**

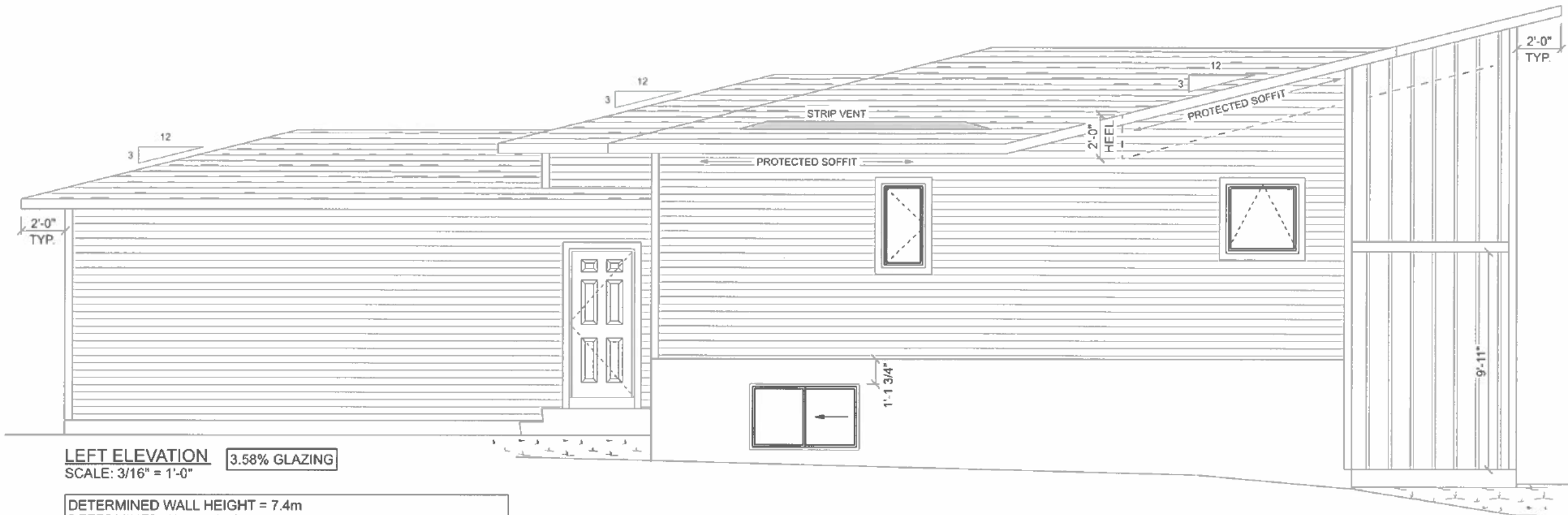
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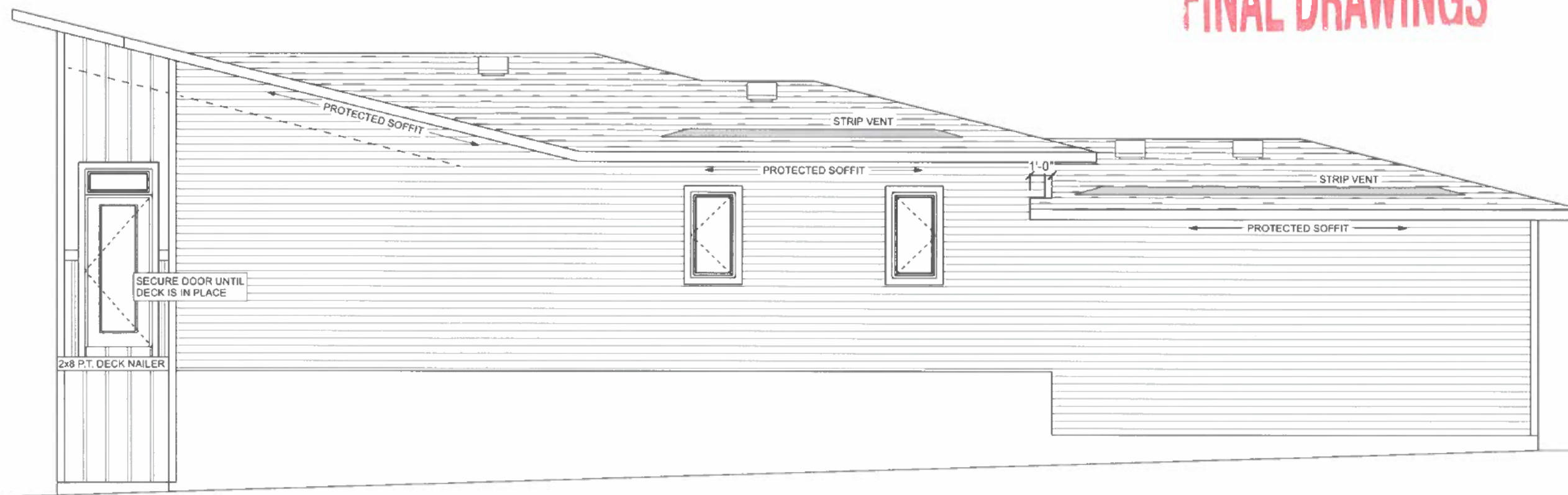
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**LEFT ELEVATION** 3.58% GLAZING  
SCALE: 3/16" = 1'-0"

DETERMINED WALL HEIGHT = 7.4m  
 DETERMINED WALL LENGTH = 14.000m  
 WALL HEIGHT x WALL LENGTH = ALLOWABLE SIDEWALL AREA  
 7.4m x 14.000m = 103.6 SQUARE METERS (1115.14 SQUARE FEET)  
 ACTUAL SIDEWALL AREA: 933 SQUARE FEET

**FINAL DRAWINGS**



**RIGHT ELEVATION** 3.04% GLAZING

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 Warman, SK S0K 4S0 info@warmanhomes.ca

MAH RESIDENCE  
 1205 SPADINA CRESCENT EAST  
 SASKATOON, SK

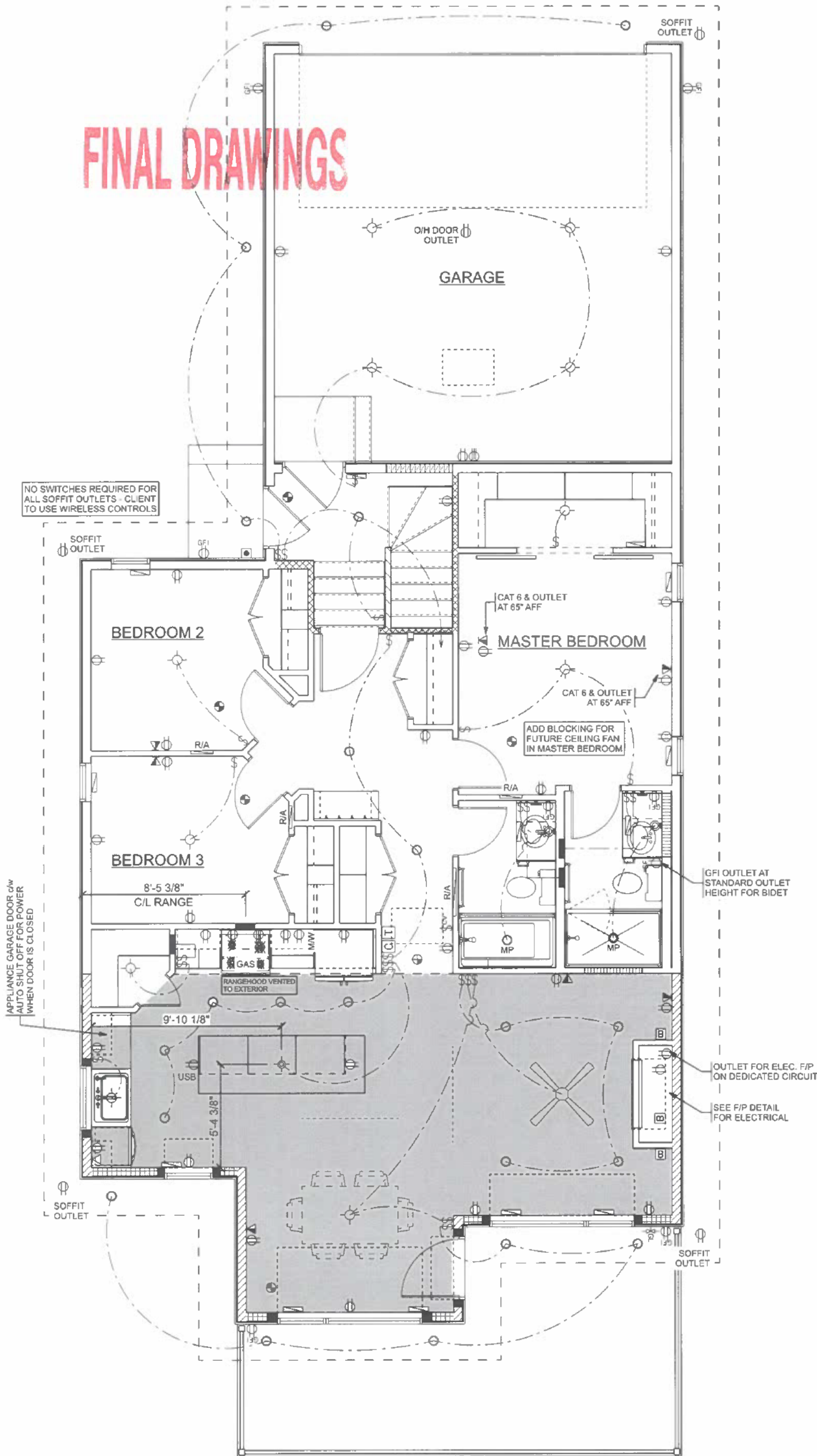
SIZE: 1215 SQ FT  
 DRAWN BY: KJC

**4 OF 12**





**FINAL DRAWINGS**



ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
14 Inch Return Air	[Symbol]
30 Inch Return Air	[Symbol]
Cat 5 Telephone	[Symbol]
Central Vent Switch	[Symbol]
Coax & Cat 6 Ethernet	[Symbol]
Doorbell	[Symbol]
Door Chime	[Symbol]
Gas Line	[Symbol]
Heat Register	[Symbol]
Light	[Symbol]
Outlet	[Symbol]
Outlet 220v	[Symbol]
Outlet GFI	[Symbol]
Pendant Light	[Symbol]
Pot Light	[Symbol]
Smoke & CO Detector	[Symbol]
Smoke Detector	[Symbol]
Switch	[Symbol]
Thermostat	[Symbol]
Vent Duct	[Symbol]
Wall Mount Light	[Symbol]

REVISION	DATE	BY
SDC	06 SEP 2024	K.JC
S2426-7	10 OCT 2024	CBU
S2426-11	12 FEB 2025	CBU

18-Feb-2025 WH PROJECT: S2426

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ELECTRICAL WIRES NOT PERMITTED TO RUN PERPENDICULAR TO TRUSSES IN ANY AREAS GREATER THAN 3'-3 3/8" IN HEIGHT.

MECHANICAL AND ELECTRICAL LOCATIONS MAY BE ADJUSTED BY CONTRACTOR AS REQUIRED.

**ELECTRICAL LAYOUT**  
SCALE: 3/16" = 1'-0"

3" CASING & 4" BASEBOARD  
PVC CASING & BASEBOARD IN BATHROOMS

DIMMER SWITCH ON EACH LIGHT THROUGHOUT EXCEPT WALK-IN CLOSET AND PANTRY LIGHT

CAT 6 OUTLETS THROUGHOUT

ALL POTLIGHT LOCATIONS ARE AN ESTIMATE ONLY AND MAY NEED TO BE ADJUSTED TO SUIT ROOF TRUSS LOCATIONS. IF OWNER REQUIRES POTLIGHTS IN AN EXACT LOCATION, IT SHOULD BE NOTED ON PLAN AND ADDITIONAL CHARGES WILL APPLY.



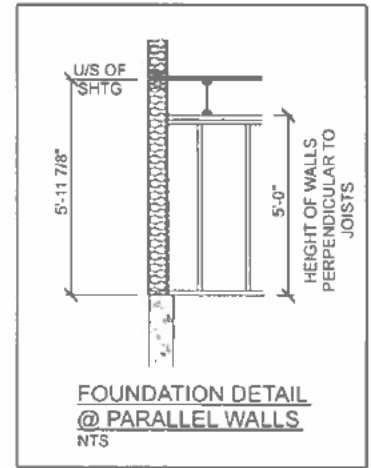
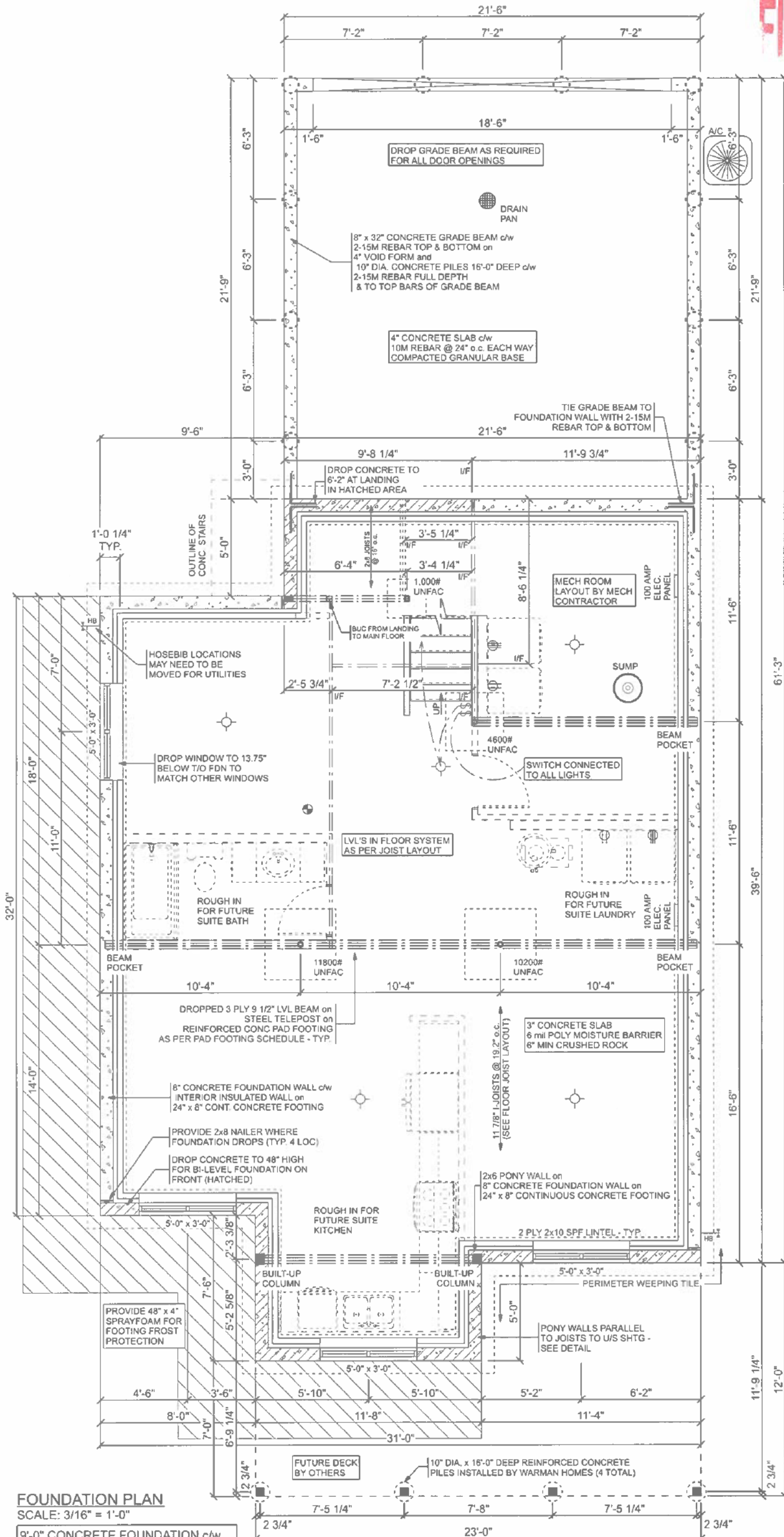
Build it like you own it.  
602 South Railway St. West 306-933-9595  
Warman, SK S0K 4S0 info@warmanhomes.ca

MAH RESIDENCE  
1205 SPADINA CRESCENT EAST  
SASKATOON, SK

SIZE: 1215 SQ FT  
DRAWN BY: KJC



**FINAL DRAWINGS**



**PAD FOOTING SIZES**

**STANDARD LOADING (UP TO 10,000#)**  
36"x36"x8" CONCRETE PAD FOOTING  
r/w 4-10M REBAR EACH WAY  
STEEL TELEPOST AS PER SUPPLIER

**MEDIUM LOADING (UP TO 20,000#)**  
44"x44"x10" CONCRETE PAD FOOTING  
r/w 5-10M REBAR EACH WAY  
STEEL TELEPOST AS PER SUPPLIER

**HEAVY DUTY LOADING (UP TO 30,000#)**  
54"x54"x12" CONCRETE PAD FOOTING  
r/w 6-10M REBAR EACH WAY  
STEEL TELEPOST AS PER SUPPLIER

REVISION	DATE	BY
SDC	06 SEP 2024	KJC
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WINDOW SIZES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ROUGH OPENING SIZES WITH WINDOW SUPPLIER PRIOR TO INSTALL.

ALL POLY TO CONFORM TO CAMCGSB-51.34-M

ALL CONCRETE SHALL ATTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 20 MPa FOR FLOORS; 25MPa FOR ALL FOOTINGS, WALLS, PILES AND GRADE BEAMS; 32MPa FOR GARAGE FLOORS AND EXTERIOR STEPS USING TYPE HS CEMENT.

ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL. ANY OVER EXCAVATION SHALL BE FILLED WITH CONCRETE.

PROVIDE CONTINUOUS BEAD OF SEALANT AROUND PERIMETER BETWEEN SLAB AND FOUNDATION WALL AND AT ALL PENETRATIONS THROUGH SLAB AS PER NBCC 9.13.4.

AS REQUIRED BY NBCC 9.13.4. PROVIDE ROUGH-IN FOR SUBFLOOR DEPRESSURIZATION.

**WARMAN HOMES**

*Build it like you own it.*

602 South Railway St. West 306-933-9595  
Warman, SK S0K 4S0 info@warmanhomes.ca

MAH RESIDENCE  
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**7 OF 12**

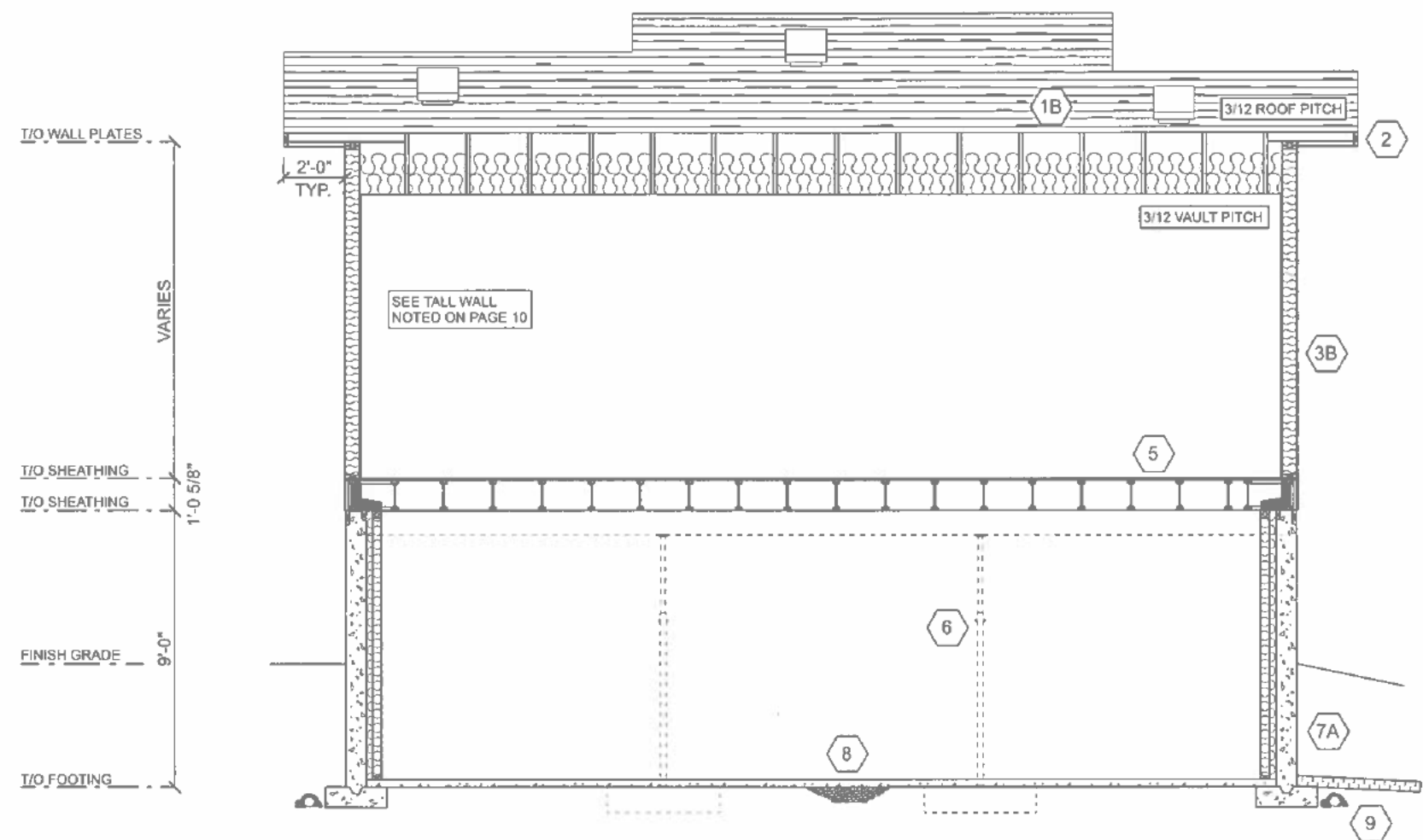
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**BUILDING SECTION A**  
SCALE: 3/16" = 1'-0"

**FINAL DRAWINGS**

SOUND TRANSMISSION REQUIREMENTS AS PER ARTICLE 9.11.1.1(2) - NOT SHOWN IN SECTION (FUTURE SUITE)	
<b>INTERIOR WALL (43 STC)</b>	
(A)	1/2" DRYWALL 2x4 or 2x6 STUDS @ 16" o.c. SOUND ABSORBING MATERIAL RESILIENT METAL CHANNEL @ 16" o.c. OR 24" o.c. 1/2" DRYWALL
<b>FLOOR ASSEMBLY (43 STC)</b>	
(B)	FINISHED FLOOR 3/4" T&G OSB (AND ULAY AS REQUIRED) ENGINEERED JOISTS @ MAX 24" o.c. MINIMUM 150mm SOUND ABSORBING MATERIAL RESILIENT METAL CHANNELS @ 16" o.c. OR 24" o.c. 1/2" CD DRYWALL

**1A ROOF SYSTEM**

SHINGLES  
ROLL ROOFING EAVE PROTECTION (MIN. 48" UP ROOF)  
7/16" ROOF SHEATHING c/w H-CLIPS  
PRE-ENGINEERED TRUSSES @ 24" o.c.  
TRUSS BRACING AS PER MANUFACTURERS RECOMMENDATIONS  
R50 (RSI 8.8) BLOWN-IN INSULATION  
CARDBOARD INSULATION STOPS @ EAVES  
6 mil POLY V.B.  
1/2" CD DRYWALL

**1B VAULTED ROOF SYSTEM**

SHINGLES  
ROLL ROOFING EAVE PROTECTION (MIN. 48" UP ROOF)  
7/16" ROOF SHEATHING c/w H-CLIPS  
PRE-ENGINEERED TRUSSES @ 24" o.c.  
TRUSS BRACING AS PER MANUFACTURERS RECOMMENDATIONS  
TWO LAYERS R28 (RSI 4.935) BATT INSULATION  
CARDBOARD INSULATION STOPS @ EAVES  
6 mil POLY V.B.  
1/2" CD DRYWALL

**2 EAVES**

2x6 FASCIA BOARD  
PRE-FINISHED METAL SOFFIT, FASCIA & EAVESTROUGHING

**3A EXTERIOR WALL**

EXTERIOR FINISH AS PER ELEVATIONS  
BUILDING PAPER or HOUSEWRAP  
7/16" WALL SHEATHING  
2x6 STUDS @ 24" o.c. U.N.O.  
R24 (RSI 4.23) BATT INSULATION  
6 mil POLY V.B.  
1/2" DRYWALL (DRYWALL INTERIOR OF MAIN FLOOR WALLS ONLY)

**3B EXTERIOR WALL (TALL WALL)**

EXTERIOR FINISH AS PER ELEVATIONS  
BUILDING PAPER or HOUSEWRAP  
7/16" WALL SHEATHING  
2x6 STUDS @ 16" o.c. OR AS NOTED BY P.ENG ON PLAN  
R24 (RSI 4.23) BATT INSULATION  
6 mil POLY V.B.  
1/2" DRYWALL

**4 INTERIOR WALL**

1/2" DRYWALL  
2x4 STUDS U.N.O. @ 16" o.c.  
1/2" DRYWALL

**5 FLOOR SYSTEM**

FINISHED FLOORING  
3/8" ULAY IN LINO AREAS  
3/4" T & G OSB FLOOR SHEATHING  
11 7/8" I-JOISTS @ 19.2" o.c.

**6 BEAM/POST/FOOTING**

BEAM AS PER PLAN on STEEL TELEPOST on REINFORCED CONC PAD FOOTING AS PER PAD FOOTING SCHEDULE

**7A FOUNDATION WALL (9' CONC.)**

DAMPPOOF BOTH SIDES BELOW GRADE AND PARING ABOVE GRADE  
8" CONCRETE FOUNDATION WALL c/w  
2-10M REBAR HORIZONTAL T/M/B and  
15M VERTICAL REBAR @ 24" o.c. on  
24" x 8" CONTINUOUS CONCRETE FOOTING c/w  
2-10M REBAR c/w  
2x4 STUDS @ 24" o.c.  
R24 (RSI 4.23) BATT INSULATION  
6 mil POLY V.B.

**7B FOUNDATION WALL (BI-LEVEL)**

DAMPPOOF BOTH SIDES BELOW GRADE AND PARING ABOVE GRADE  
8" CONCRETE FOUNDATION WALL c/w  
2-10M REBAR HORIZONTAL T/B and  
15M VERTICAL REBAR @ 24" o.c. on  
24" x 8" CONTINUOUS CONCRETE FOOTING c/w  
2-10M REBAR c/w  
2x4 STUDS @ 24" o.c.  
R24 (RSI 4.23) BATT INSULATION  
6 mil POLY V.B.

**8 SLAB FLOOR**

3" CONCRETE SLAB  
6 mil POLY MOISTURE BARRIER  
6" MIN. CRUSHED ROCK

**9 WEEPING TILE**

4" DIA. SOCKED WEEPING TILE IN 6" CRUSHED STONE (CLEAR) CONNECTED TO SUMP PUMP (SLOPE EXCAVATION TO SUMP)

**10 RIM JOIST INSULATION**

3" MED. DENSITY SPRAYFOAM INSULATION c/w FIREGUARD IN ALL PERIMETER JOIST SPACES. CONTRACTOR TO ENSURE CONTINUITY OF INSULATION & AVB REQUIREMENTS ARE MET

**11 HOUSE / GARAGE WALL**

7/16" WALL SHEATHING  
2x6 STUDS @ 24" o.c. U.N.O.  
R24 (RSI 4.23) BATT INSULATION  
6 mil POLY V.B.  
1/2" DRYWALL

**12 GARAGE ROOF**

SHINGLES c/w  
ROLL ROOFING EAVE PROTECTION (MIN. 48" UP ROOF)  
7/16" ROOF SHEATHING c/w H-CLIPS  
PRE-ENGINEERED TRUSSES @ 24" o.c.  
TRUSS BRACING AS PER MANUFACTURERS RECOMMENDATIONS  
CARDBOARD INSULATION STOPS AT EAVES

**13 GARAGE WALL**

EXTERIOR FINISH AS PER ELEVATIONS  
BUILDING PAPER or HOUSEWRAP  
7/16" WALL SHEATHING  
2x6 STUDS @ 24" o.c.

**14 GRADE BEAM & PILE**

8" x 32" CONCRETE GRADE BEAM c/w  
2-15M REBAR TOP & BOTTOM on 4" VOID FORM and  
10" DIA. CONCRETE PILES 16'-0" DEEP c/w  
2-15M REBAR FULL DEPTH & TO TOP BARS OF GRADE BEAM

**15 GARAGE SLAB FLOOR**

4" CONCRETE SLAB r/w  
10M REBAR @ 24" o.c. EACH WAY  
COMPACTED GRANULAR BASE

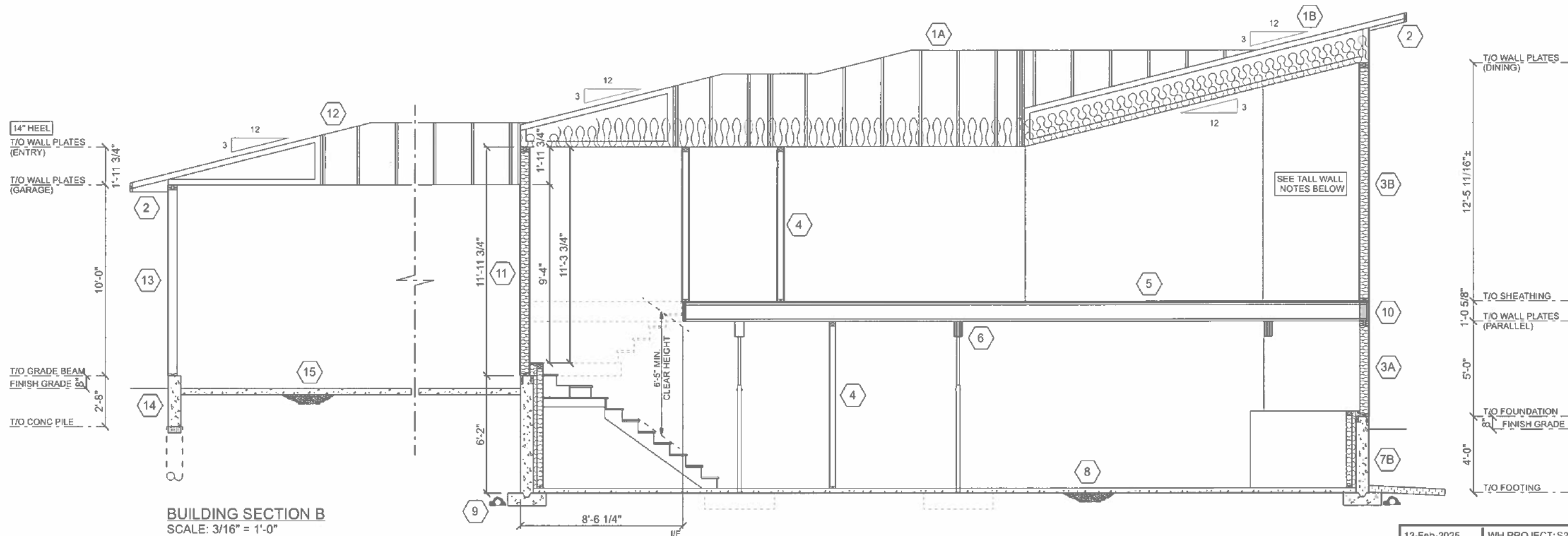


*Build it like you own it.*

602 South Railway St. West 306-933-9595  
Warman, SK S0K 4S0 info@warmanhomes.ca

MAH RESIDENCE  
1205 SPADINA CRESCENT EAST  
SASKATOON, SK

SIZE: 1215 SQ FT  
DRAWN BY: KJC



**BUILDING SECTION B**  
SCALE: 3/16" = 1'-0"

- 1A ROOF SYSTEM
- 1B VAULTED ROOF SYSTEM
- 2 EAVES
- 3A EXTERIOR WALL
- 3B EXTERIOR WALL (TALL WALL)
- 4 INTERIOR WALL
- 5 FLOOR SYSTEM
- 6 BEAM/POST/FOOTING
- 7A FOUNDATION WALL (9' CONC.)
- 7B FOUNDATION WALL (BI-LEVEL)
- 8 SLAB FLOOR
- 9 WEeping TILE
- 10 RIM JOIST INSULATION
- 11 HOUSE / GARAGE WALL
- 12 GARAGE ROOF
- 13 GARAGE WALL
- 14 GRADE BEAM & PILE
- 15 GARAGE SLAB FLOOR

**ENGINEERED TALL WALL FRAMING NOTES**

1. Install all lintels, jack studs, cripples, plates, sheathing and fasteners as per current NBCC.
2. Install min. 3/8" OSB or plywood sheathing on exterior.
3. Top and bottom plates to be SPF material.
4. Tall wall studs & king studs to be full height continuous to underside of top plates supporting truss heel or outlook framing. Jack studs to run full height, continuous to uppermost lintel.
5. Install Simpson L50 top & bottom of built-up columns (king studs plus jack studs). Install clip on both sides of column where possible.
6. Fasten built-up columns w/ (2) nails @ 8" o.c. each ply (4" from top and bottom of wall). Install nails both sides for jack stud.
7. Full depth SPF blocking at max. 4' o.c.
8. Install Simpson L50 to one side of each truss heel (or outlook framing) that bear on tall wall.
9. Install all Simpson framing clips with manufacturer approved fasteners.
10. Install (3) end nails in each stud & lintel plate. Lintels to have SPF top & bottom plate. Lintels to be minimum 2ply 2x10 u.n.o.
11. Install full depth crush blocking below built-up columns (king studs/jack studs) in joist space. Lintels to be 3-1/4" U.N.O.
12. Nails to be 3-1/4" U.N.O.
13. Wood Properties: S-P-F No.2 or better
14. Engineered Wood Properties: LVL 2.0E or better
15. Tall wall is not engineered as a shear wall. Overall lateral stability designed by others.
16. Tall wall is defined as an exterior wood wall with an unsupported height greater than 12'-0".
17. Refer to door/window manufacturer's specifications for recommended rough opening dimensions.

REVISION	DATE	BY
SDC	06 SEP 2024	KJC
S2426-7	10 OCT 2024	CBU
S2426-11	12 FEB 2025	CBU

THESE DRAWINGS ARE THE SOLE PROPERTY OF WARMAN HOMES AND CAN BE USED FOR COMPLETION OF THIS PROJECT ONLY. DO NOT COPY, MODIFY OR REDISTRIBUTE THESE DRAWINGS WITHOUT WRITTEN CONSENT FROM WARMAN HOMES.

ALL CONSTRUCTION TO MEET OR EXCEED ALL LOCAL AND NATIONAL BUILDING CODES.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS, SPECIFICATIONS AND METHODS OF CONSTRUCTION.

DO NOT SCALE DRAWINGS. REPORT ANY ERRORS OR OMISSIONS TO OWNER BEFORE PROCEEDING.



*Build it like you own it.*

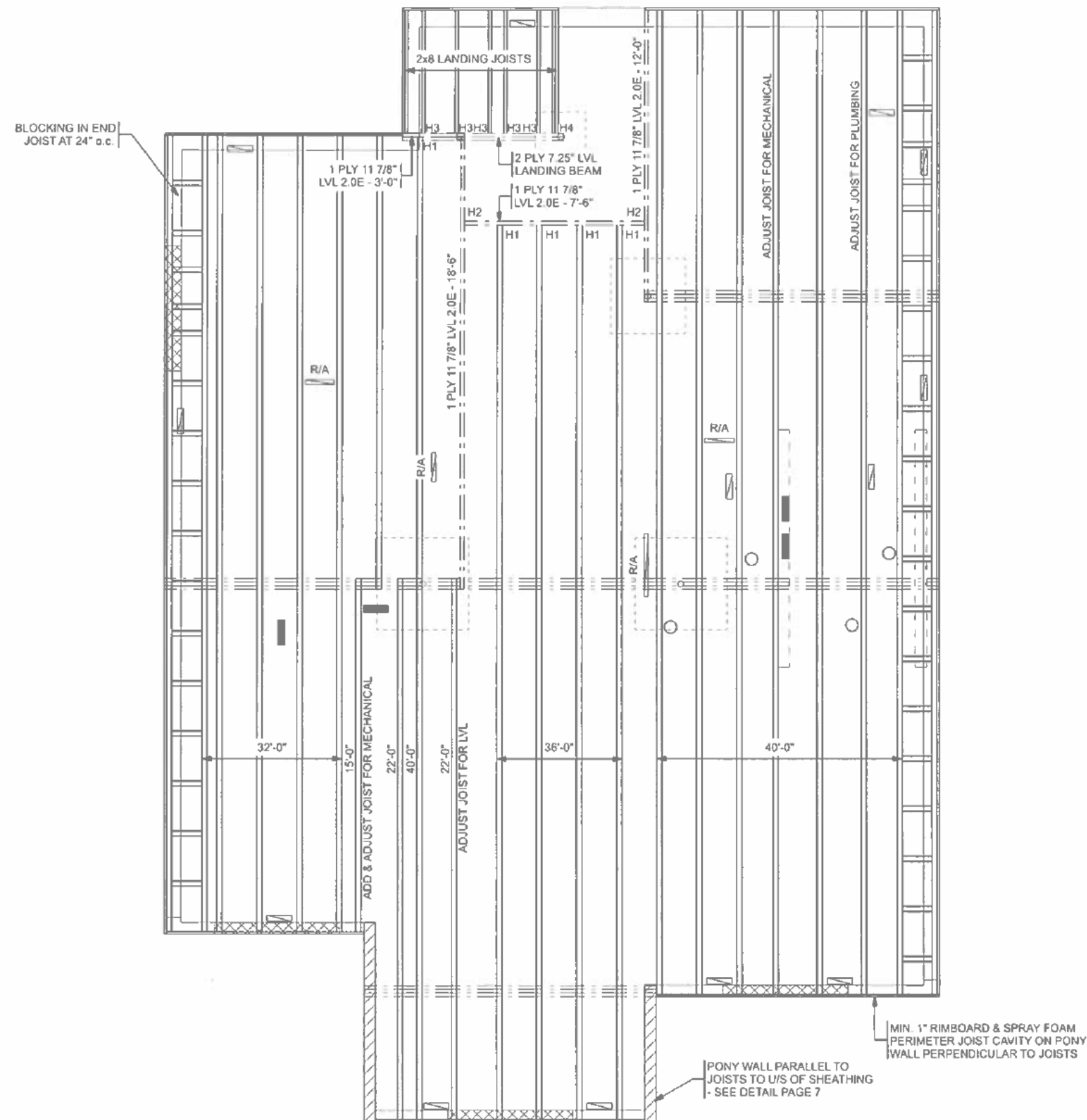
602 South Railway St. West 306-933-9595  
Warman, SK S0K 4S0 info@warmanhomes.ca

MAH RESIDENCE  
1205 SPADINA CRESCENT EAST  
SASKATOON, SK

SIZE: 1215 SQ FT  
DRAWN BY: KJC



START 19.2" o.c. SPACING OF JOISTS AT THIS END



**FINAL DRAWINGS**

REVISION	DATE	BY
SDC	06 SEP 2024	KJC
S2426-7	10 OCT 2024	CBU
S2426-11	12 FEB 2025	CBU

THESE DRAWINGS ARE THE SOLE PROPERTY OF WARMAN HOMES AND CAN BE USED FOR COMPLETION OF THIS PROJECT ONLY. DO NOT COPY, MODIFY OR REDISTRIBUTE THESE DRAWINGS WITHOUT WRITTEN CONSENT FROM WARMAN HOMES.

REFER TO PLANS FOR ALL DIMENSIONS.

THIS LAYOUT IS A GUIDE ONLY. CONFIRMATION OF ALL QUANTITIES, LENGTHS AND DETAILS REMAIN THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR.

IT IS THE FRAMERS RESPONSIBILITY TO ENSURE THAT THE JOISTS DO NOT CONFLICT WITH PLUMBING STACKS AND OTHER OPENINGS THROUGH THE FLOOR. ADJUST JOISTS MAXIMUM 2" IF REQUIRED OR ADDITIONAL JOISTS MAY BE REQUIRED.

ALL FLOOR SHEATHING TO BE GLUED AND SCREWED TO FLOOR JOISTS AND BEAMS.

POINT LOADS FROM ABOVE SHALL BE SOLID BLOCKED TO BEARING BELOW.

MINIMUM END BEARING FOR JOISTS SHALL BE 1.75' AND INTERMEDIATE BEARING SHALL BE 3.5' UNO

REFER TO PK INSTALLATION GUIDE FOR ALL CONSTRUCTION DETAILS.

**FRAMING MEMBERS**

FLOOR JOISTS = 11.875" PK120 I-JOIST  
FLOOR GIRDERS = 11.875" LVL 2.0E

\* LENGTH AND SPACING AS NOTED ON LAYOUT\*

**HANGER LIST**

H1	LF2511
H2	HUS1.81/10
H3	LUS26
H4	LUS26-2

**DESIGN ASSUMPTIONS**

SHEATHING MATERIAL	3/4" OSB
CEILING MATERIAL	NONE
CEILING STRAPS	NONE
BRIDGING MATERIAL	NONE
NUMBER OF ROWS	NONE

INCLUDES CCMC VIBRATION CHECK

LIVE LOAD	40 PSF
DEAD LOAD	15 PSF
TOTAL LOAD	55 PSF

LIVE LOAD DEFLECTION	L/480
TOTAL DEFLECTION	L/240



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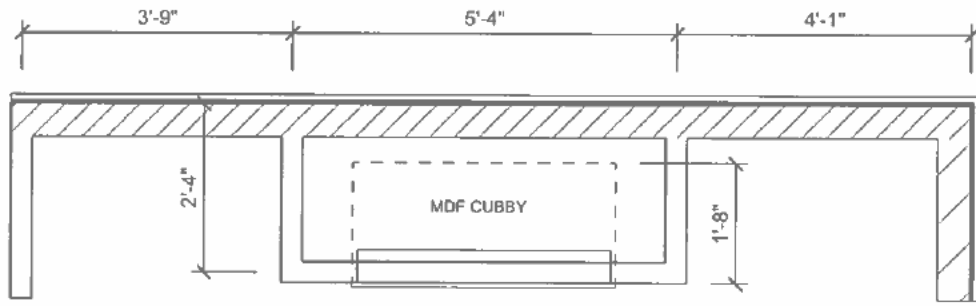
MAH RESIDENCE  
1205 SPADINA CRESCENT EAST  
SASKATOON, SK

SIZE: 1215 SQ FT

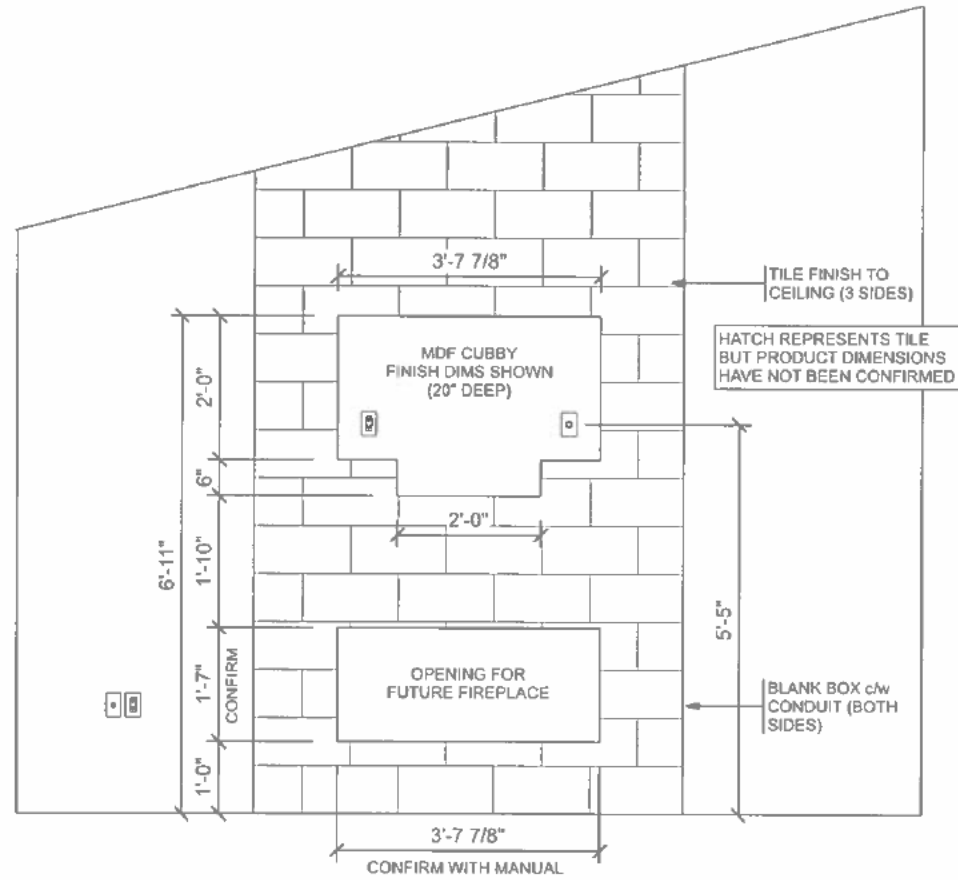
DRAWN BY: KJC

11 OF 12

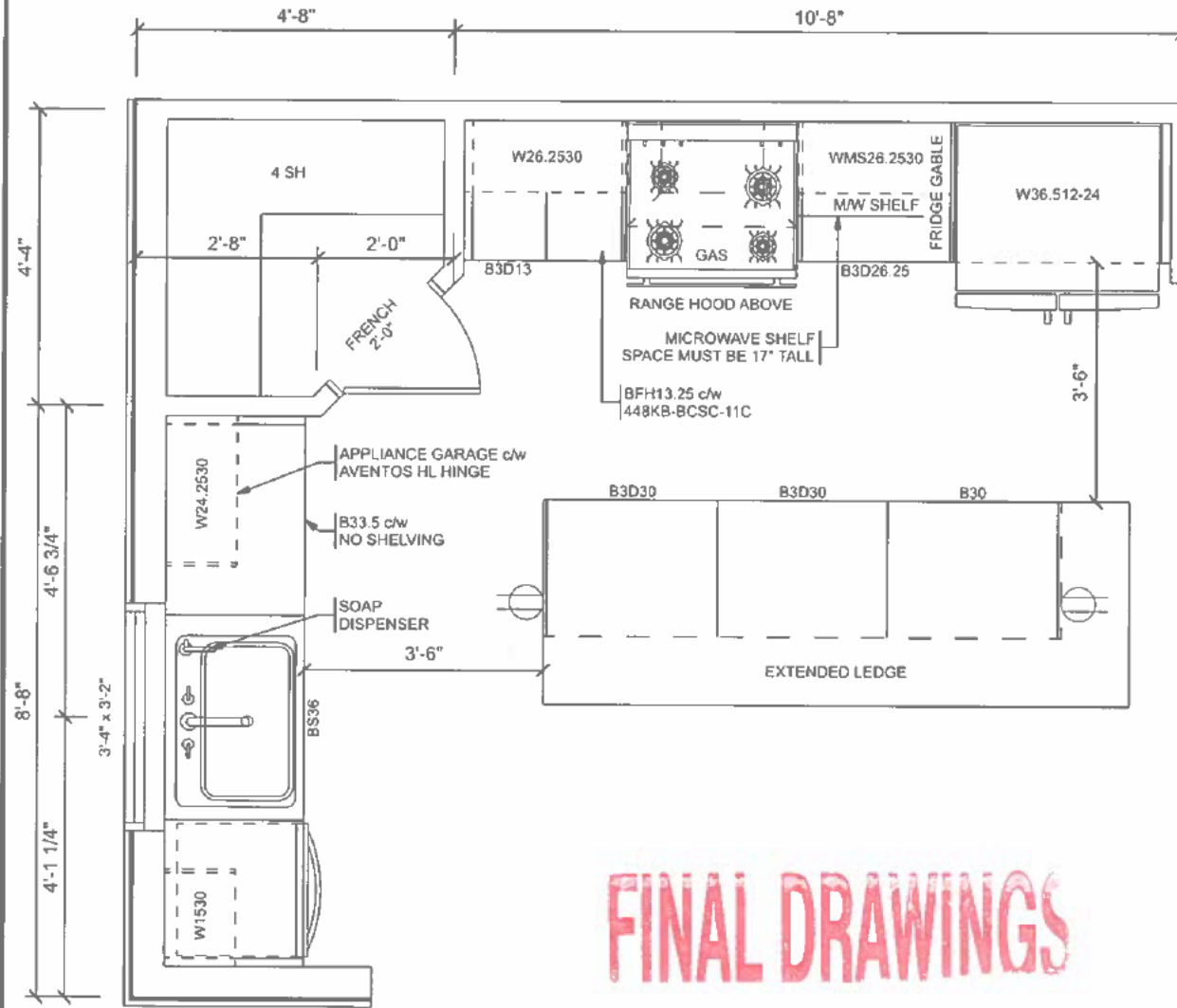
**FLOOR JOIST LAYOUT**  
SCALE: 3/16" = 1'-0"



FIREPLACE PLAN



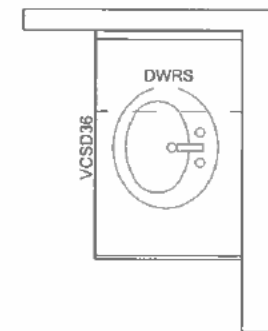
FIREPLACE ELEVATION



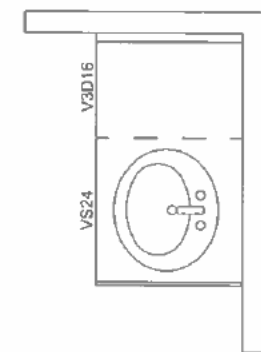
**KITCHEN**

TILE BACKSPASH

APPLIANCE GARAGE DOOR c/w  
AUTO SHUT OFF FOR POWER  
WHEN DOOR IS CLOSED

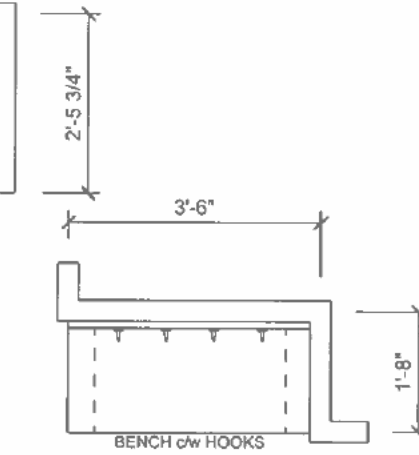


MAIN BATHROOM

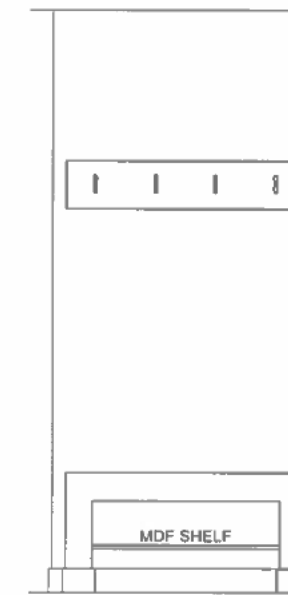


ENSUITE

CABINET LAYOUT  
SCALE: 3/8" = 1'-0"

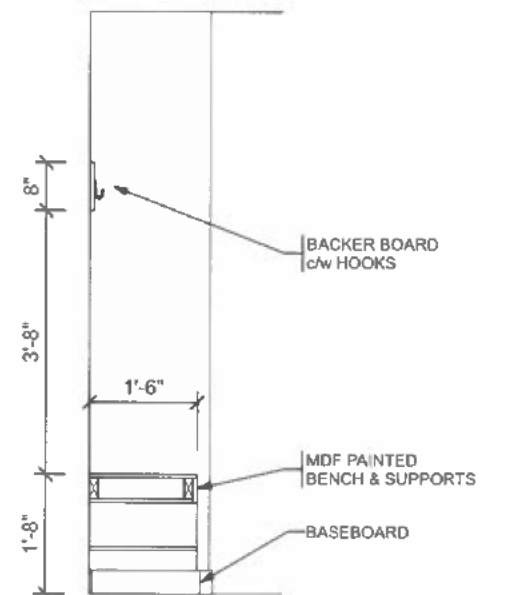


PLAN VIEW



ELEVATION VIEW

BENCH DETAIL  
SCALE: 3/8" = 1'-0"



MDF BENCH SECTION  
- 3.5" (2x4) FRAMED BENCH COVERED IN 5/8" MDF  
- 8" BACKER BOARD c/w HOOKS - NO SHELF  
- OPEN BELOW (MAX SPAN 5' WITHOUT SUPPORT)

FINAL DRAWINGS

REFER TO PRODUCTION SCHEDULE  
FOR FINISH DOOR STYLE, MOULDINGS  
AND ALL ACCESSORIES.

SOFTCLOSE DOORS & DRAWERS  
THROUGHOUT.



Build it like you own it.  
602 South Railway St. West 306-933-9595  
Warman, SK S0K 4S0 info@warmanhomes.ca

MAH RESIDENCE  
1205 SPADINA CRESCENT EAST  
SASKATOON, SK

WH PROJECT: S2426

REVISION: S2426-6

13-Feb-2025

DRAWN BY: KJC

SIZE: 1215 SQ FT

12 OF 12

April 8, 2025

«RGSTR\_OWNER»  
«MAILING\_ADDR\_DELIV\_ADDR1»  
«MAILING\_ADDR\_CITY»  
«MAILING\_ADDR\_PROV\_CODE»  
«MAILING\_ADDR\_POSTAL\_CODE»

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## NEIGHBOUR NOTIFICATION

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**Reference:** Development Permit Denial – Appeal No. 12-2025  
**Site:** 1205 Spadina Crescent East  
**Proposal:** New One Unit Dwelling

The above-noted appeal has been filed by **Winston Mah** under Subsection 219(1)(b) of *The Planning and Development Act, 2007*. This letter has been sent to you as the registered owner or property manager of a property that has been deemed as neighbouring the subject site. The Board is required by law to send a notice in order to give the neighbouring property owners opportunity to submit comments in writing regarding the appeal.

The property is zoned **R2** under *Zoning Bylaw No. 9900*, and the development permit was denied due to the following deficiencies:

- Requirement:** Section 8.4.4 (3)(a) states:  
“The front yard setback requirement for OUDs, TUDs, SDDs and MUDs containing up to four dwelling units in established neighbourhoods shall not vary by more than 3 metres from the average front yard setback of the principal buildings on adjacent flanking sites, provided that in no case shall the setback be less than 6 metres.”

The adjacent properties have existing front yard setbacks of:  
1207 Spadina Cres E = 13.21m  
1203 Spadina Cres E = 10.27m  
Average = 11.74m

Based on the average front yard setback of the adjacent properties (11.74m), the minimum front yard setback shall not be less than 8.74m (11.74m – 3m).

**Proposed:** Based on the information provided the proposed One Unit Dwelling has a front yard setback of 6.555m.

**Deficiency:** This results in a front yard setback deficiency of 2.185m (7.168ft).

- Requirement:** Section 8.4.2 states the minimum rear yard setback for a One Unit Dwelling on an interior site is 7.5m.

**Proposed:** Based on the information provided the proposed One Unit Dwelling has a rear yard setback of 4.775m.

Development Appeals Board  
Appeal 2025 - 12

Deficiency: This results in a front yard setback deficiency of 2.725m (8.94ft).

**The Development Appeals Board will hear the appeal: Tuesday, April 29, 2025, at 4:00 p.m. in Committee Room E. Appeal hearings are open to the public.**

For additional information please refer to the website at [www.saskatoon.ca](http://www.saskatoon.ca) (select City Hall, City Council, Boards & Committees, Agendas, Minutes & Video, Development Appeals Board) or contact the Secretary at (306) 975-3240.

If you wish to provide written comments regarding this matter you are required to submit a letter including your name and full address to the Secretary, Development Appeals Board, City Clerk's Office, City Hall, Saskatoon, Saskatchewan, S7K 0J5 or email [development.appeals.board@saskatoon.ca](mailto:development.appeals.board@saskatoon.ca).

**Submissions providing comments and/or requests to speak must be received in the City Clerk's Office by noon the day of the hearing.** Please note that your letter and written comments are a public document and will be provided to the parties of the appeal in advance of the hearing.

**Debby Sackmann, Secretary**  
Development Appeals Board

Received  
City Clerk's Office  
April 12, 2025

**April 12, 2025**

Development Appeals Board  
c/o Office of the City Clerk  
222 – 3<sup>rd</sup> Avenue North  
Saskatoon, SK S7K 0J5

**RE: 1205 Spadina Crescent East Appeal No. 12-2025**

Attention Development Appeals Board,

We, Brendan & Tania Halbgewachs of [REDACTED] Spadina Crescent East, thank the appeals board for the opportunity to provide comments on Mr. Mah's appeal to his permit denial.

As long-time Saskatoon residents we selected this beautiful section of Saskatoon's iconic Spadina Crescent with beautiful river views to build our dream home. We and many neighbors have invested significant funds to upgrade the neighborhood. These upgrades were completed in compliance with the cities bylaws to ensure Spadina maintains its premium appeal. Spadina is the highly utilized meeting point where the beautiful Meewasin Valley connects to the North Park community. Maintaining this balance of quality premium homes integrating into the greenspace of Meewasin must be prioritized by the city.

If Mr. Mah is permitted to build his bylaw noncompliant proposed dwelling the following is likely to occur:

- Minimum riverfront green space requirements will be replaced with a multi-dwelling housing complex to the detriment of all that enjoy this iconic riverfront street.
- This project will discourage Saskatoon residents from purchasing adjacent properties in the future and developing beautiful new homes that comply with building requirements because this property will impede their premium river view.
- Adjacent street parking will become limited. Complex residents unable to park on their own property will be forced to utilize all available adjacent street parking.
- The corner of 33<sup>rd</sup> & Spadina is very loud due to the acceleration of traffic from the 3-way stop. The proposed building is far too close to this very loud corner. Over time this will frustrate residents, as it becomes an unbearable place to stay. Ultimately, it will result in a perpetual state of resident turnover and transient occupants.

We believe Mr. Winston Mah is attempting to make a quick dollar building a non-permit compliant multi-unit dwelling where it doesn't fit or belong. He is doing this to unfairly capitalize on the significant investments from the city of Saskatoon, Meewasin Valley, and adjacent North Park residents who've built a beautiful area by complying with bylaws. The project is designed solely to provide Mr. Wah with quick financial benefit. However, that comes with a detriment to long-term stakeholders who have invested millions into this neighborhood (including City of Saskatoon, Meewasin, and adjacent North Park residents including us) as we long term stakeholders will be forced to live with reduced neighborhood quality and lower home values derived from Mr. Mah's quick cash grab.

In short, we are very supportive of new development and the continued beautification of our neighborhood. We strongly encourage the city to uphold its bylaw requirements to protect one of the most beautiful areas of the city by rejecting Mr Mah's permit.

Thank you for your time and consideration, Brendan & Tania Halbgewachs

March 31, 2025

City of Saskatoon Development Appeal Application- page 2

**THIS PAGE WILL FORM PART OF THE PUBLIC RECORD FOR THE APPEAL**

**Applicant Name:** Hannah Jiang

**Registered Property Owner(s):**  
**(if different from above):** \_\_\_\_\_

**Location of Subject Property**

**Legal Description**

Lot (s) 59 Block 645 Plan No. 102429143

Civic Address: 303 Evergreen Blvd

**Present Status of Building or Structure Under Appeal:**

Construction not yet begun     Under Construction     Completed

**Type of Construction:**

Residential     Commercial     Industrial     Other (specify) Residential

**Description of Development Appeal:** (example: side yard deficiency, parking deficiency, etc.)

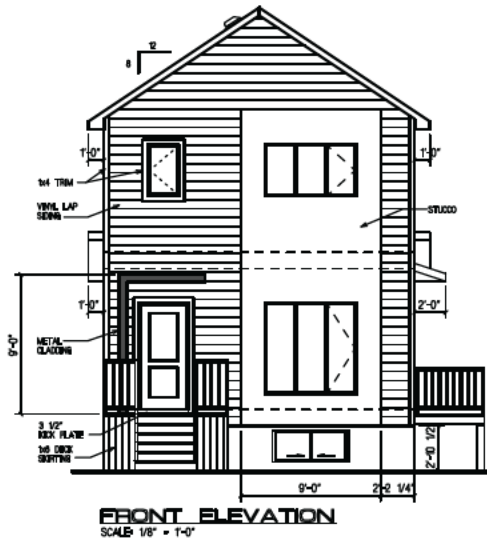
Front setback deficiency and site coverage deficiency

**Reason for Development Appeal:** (as per *The Planning and Development Act, 2007*, applicants have 5 days prior to the appeal hearing date to submit drawings and written materials)

We would like to have the 6m setback from the 12.79m property line. Doing this will not only help build a properly sized single dwelling, but It will also help with the curb appeal on that parcel. Having the dwelling pushed further back than any of the other houses on that parcel will seem off and out of place with the rest of the parcel.

**BOTH SIDES OF THIS FORM MUST BE COMPLETED**





- FRAMING NOTES FOR ENGINEER TALL WALL**
1. INSTALL ALL LINTELS, JACK STUDS, CRIPPLES, PLATES, SHEETING AND FASTENERS AS PER CURRENT NBC.
  2. TALL WALL STUDS AND BUILT-UP COLLUMNS TO BE SIZE/SPACING AS PER PLAN. INSTALL SIMPSON L50 TOP AND BOTTOM OF ALL STUDS EXCEEDING 10FT IN HEIGHT NOT REQUIRED AT CORNERS. TALL WALL STUDS AND KING STUDS TO BE FULL HEIGHT CONTINUOUS TO U/S OF ROOF.
  3. KING STUDS TO BE # OF PLYS AS PER PLAN IN ADDITION TO REQUIRED JACK STUDS. INSTALL SIMPSON L50 TOP AND BOTTOM OF KING STUD COLLUMNS.
  4. FASTEN BUILT-UP COLLUMNS w/ 2 NAILS @ 12" O.C. EACH PLY (4" FROM TOP AND BOTTOM OF WALL. INSTALL NAILS BOTH SIDES FOR JACK STUD.
  5. TOP AND BOTTOM PLATES TO BE SPF MATERIAL.
  6. STAGGERED BLOCKING AT MAXIMUM 48" O.C.
  7. INSTALL ALL SIMPSON FRAMING CLIPS WITH MANUFACTURER APPROVED FASTENERS.
  8. BOTTOM PLATES ON CONCRETE WALL TO BE PRESSURE TREATED OR PROVIDE SILL BASKET/6 MIL PLY FOR PROTECTION FROM DAMPNESS. FASTEN BOTTOM PLATES WITH NAILS 4" O.C. TO CONCRETE LADDER.
  9. INFILL FRAMING BETWEEN AND BELOW OPENINGS MAY BE 2x6 SPF @ 16" O.C. IF STUD SPAN IS LESS THAN 14'-0".
  10. NAILS TO BE 3 1/4" 12D UNLD.
  11. WOOD PROPERTIES: S4-PF NO. 2 OR BETTER.
  12. ENGINEERED WOOD PROPERTIES: USE L50E OR BETTER.

**NOTE**  
NO VENTED SOFFITS WITHIN 120" OF THE PROPERTY LINE. PROTECT SOFFITS AS PER NBC 9.0.16.5.5.10. ENGINE MIN. 25% OF ROOF VENT AT LOW END OF ROOF. USE LOW ROOF VENTS AS REQUIRED BY OWNER MOUNTED 60" UP FROM FASCIA

**EXTERIOR FINISH AS PER SPEC.**  
GRADE IS ONLY SUGGESTED AND MUST BE ADJUSTED TO SUIT INDIVIDUAL SITE CONDITIONS. ADJUST CONCRETE STEPS TO SUIT GRADE.

**BELLE MAISON DEVELOPMENT CORPORATION**

ADDRESS: 303 EVERGREEN BLVD.

PROJECT: **CUSTOM**

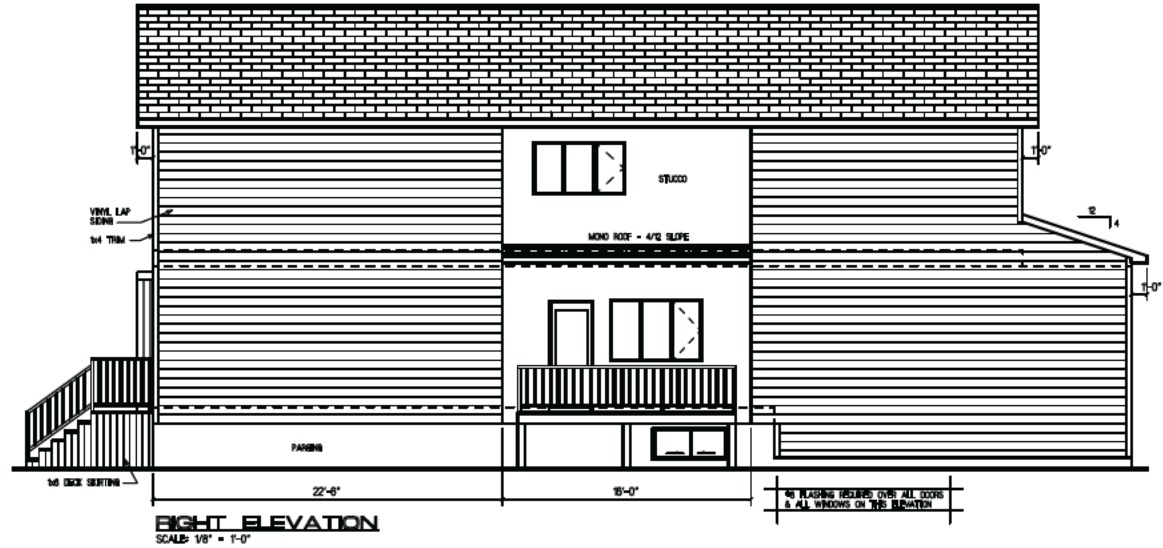
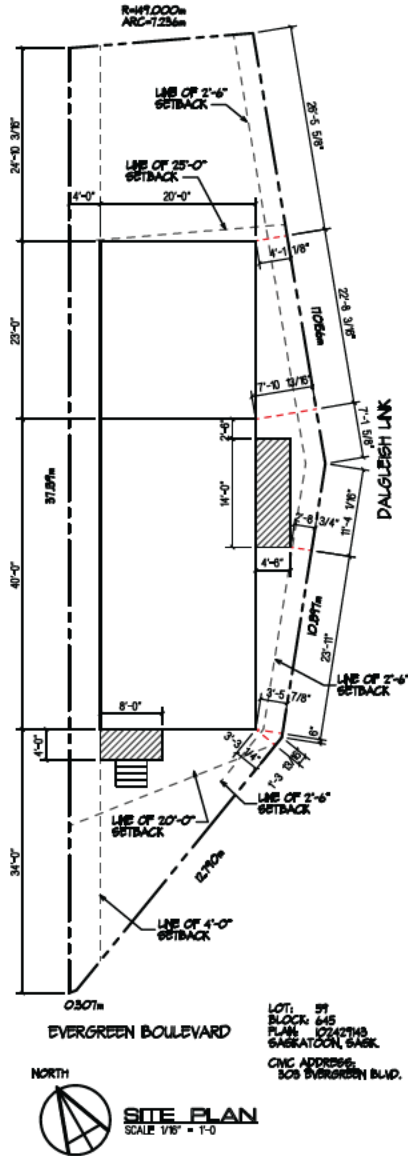
DATE: K24028

DATE: A1

DATE: DRAWN: SEPTEMBER 16, 2024

REVISION	DATE	DRAWN	CHECKED
01	24 SEP 2024	LFPSPACE	
02	26 SEP 2024	LFPSPACE	
03	30 NOV 2024	LFPSPACE	





NOTE:  
NO VENTED SOFFITS WITHIN 1.0m OF THE PROPERTY LINE. PROTECT SOFFITS AS PER NBC 9.0.6.5.5.10. ENSURE MIN. 25% OF ROOF VENT AT LOW END OF ROOF.  
USE LOW ROOF VENTS AS REQUIRED BY OWNER MOUNTED 60" UP FROM FASCIA

EXTERIOR FINISH AS PER SPEC.  
GRADE IS ONLY SUGGESTED AND MUST BE ADJUSTED TO SUIT INDIVIDUAL SITE CONDITIONS.  
ADJUST CONCRETE STEPS TO SUIT GRADE.

**BELLE MAISON**  
DEVELOPMENT CORPORATION

ADDRESS  
303 EVERGREEN BLVD.

PROJECT  
CUSTOM

PLAN #  
K24028

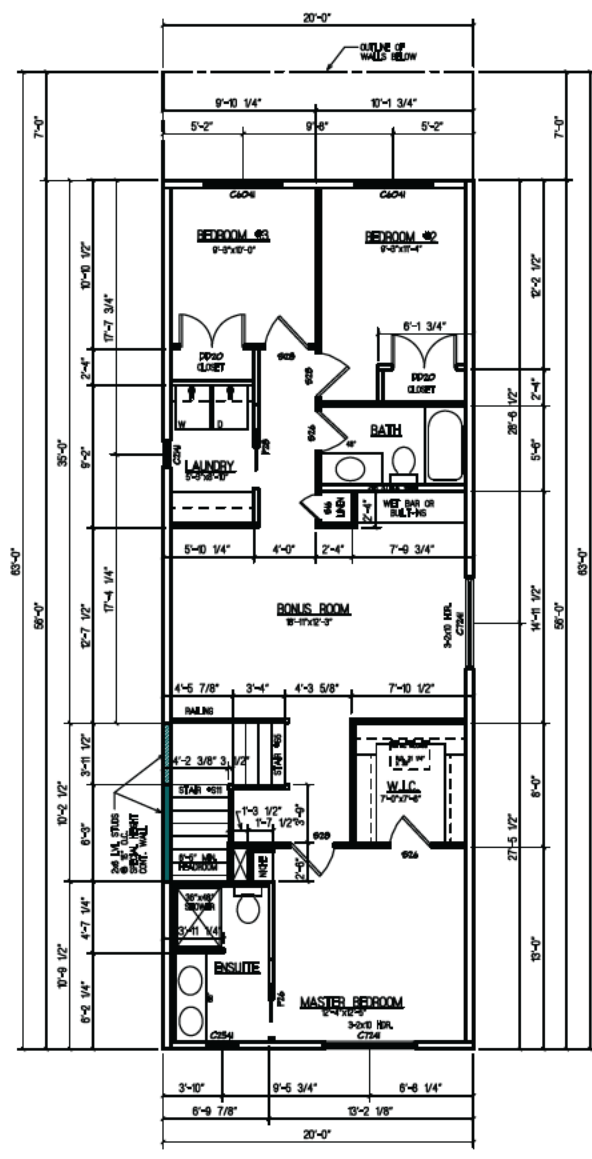
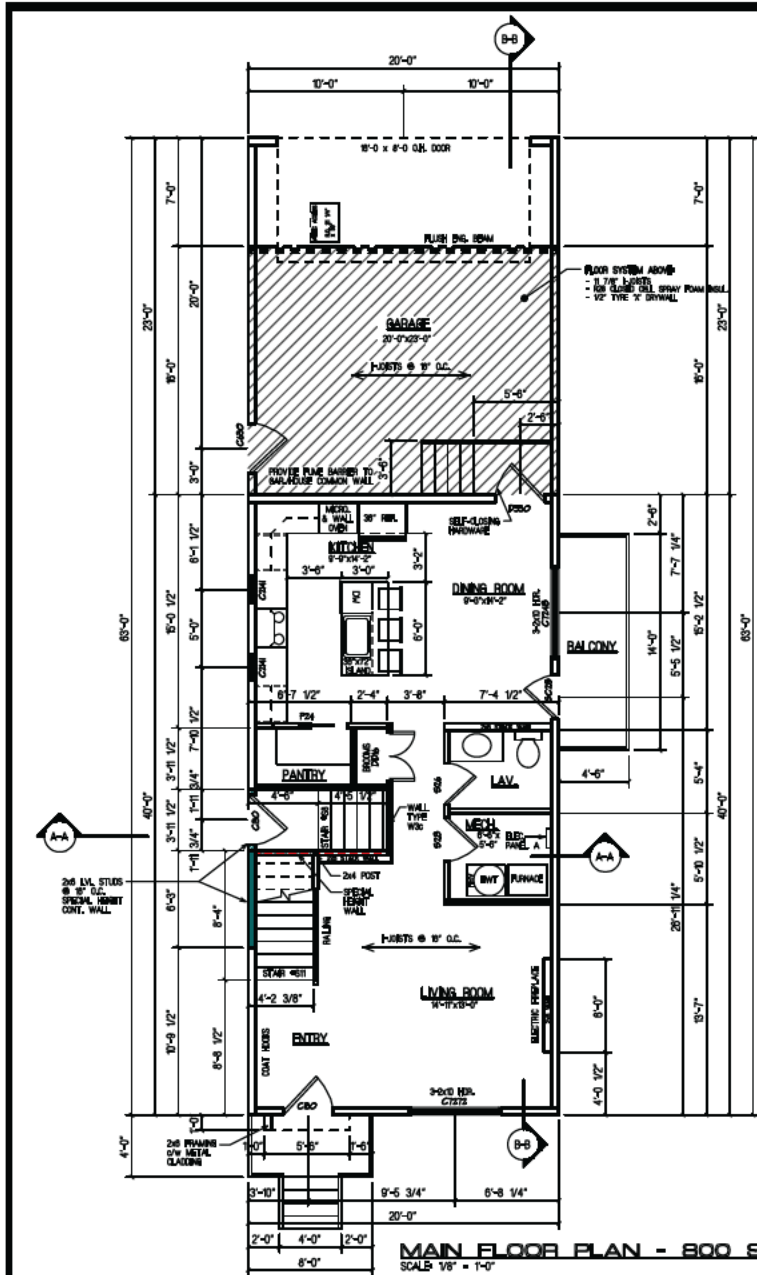
DRAWN BY LFPSPACE DESIGN GROUP INC.

DATE ORG. DRAWN SEPTEMBER 16, 2024

SPECIFICATION UPDATED 2024

REVISION	DATE (MM/YY)	DRAWN	CHECKED
01	24 SEP 2024	LFPSPACE	
02	26 SEP 2024	LFPSPACE	
03	20 NOV 2024	LFPSPACE	

A2



**NOTES**

- CONTRACTOR TO VERIFY ALL DOOR & WINDOW ROUGH OPENING DIMENSIONS WITH SUPPLIERS.
- ALL SMOKE DETECTORS TO BE HARD WIRED & INTERCONNECTED.
- THE EXACT HEAT INSTALLATION, ELECTRICAL OUTLETS, & ELECTRICAL PANEL LOCATION TO BE THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR. (CONFIRM WITH OWNER)
- 2-2x10 HEADERS OVER ALL OPENINGS UNLESS OTHERWISE NOTED.
- 3-2x10 HEADERS OR ENGINEERED TRUSS AT 9'-0" & OVER GAR. DOOR LOCATIONS.
- INTERIOR PARTITIONS TO BE 2x4 STUDS @ 16" O.C. WITH 1/2" DRYWALL EACH SIDE.
- ENGINEERED FLOOR & ROOF SYSTEMS INCLUDING SUPPORTING BEAMS & GIRDERS TO BE DESIGNED BY SUPPLIER & WILL BE SUPPLIED TO BUILDING STANDARDS PRIOR TO FRAMING INSPECTION.

**LEGEND AND NOTES**

**ELECTRICAL SYMBOLS**

- - CEILING OR WALL LIGHT
- ⊕ - SWITCH
- ⊙ - FAN
- ⊕ - DUPLEX RECEPTACLE
- ⊕ - SWITCHED DUPLEX RECEPTACLE
- ⊕ - 220 VOLT RECEPTACLE
- ⊕ - SMOKE ALARM
- ⊕ - CARBON MONOXIDE
- ⊕ - PULL CHAIN LIGHT
- ⊕ - RECESSED OR POT LIGHT

**NOTE!**

- ALL BEAMS/HEADERS AND POSTS ARE DESIGNED WITH A 50 LB SNOW LOAD. AREAS W/ HIGHER SNOW LOADS WILL REQUIRE RE-DESIGN.
- H-CLIPS
  - TYPICAL BRG. HEADER TO BE 2-2X10 @ 2 OR BTL. SPRUCE UNLESS NOTED OTHERWISE.
  - 7/16" OSB ROOF SHTG.
  - 3/8" OSB WALL SHTG.
  - 3/4" T&G OSB SUBFLOOR
  - RAIN LOAD \_\_\_\_\_ lb/sq.ft.
  - SNOW LOAD \_\_\_\_\_ lb/sq.ft.

**BELLE MAISON**  
DEVELOPMENT CORPORATION

ADDRESS: 3035 EVERGREEN BLVD.

PROJECT: CUSTOM

PROJECT #: K24028

DRAWN BY: LFP/SPACE DESIGN GROUP INC.

DATE: 08L CHG. 08/19/2024

DATE: 08L CHG. 08/19/2024

DATE: 08L CHG. 08/19/2024

DATE: 08L CHG. 08/19/2024

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DATE: 08L CHG. 08/19/2024

DATE: 08L CHG. 08/19/2024

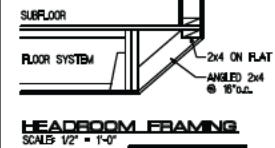
DATE: 08L CHG. 08/19/2024

DATE: 08L CHG. 08/19/2024

DATE: 08L CHG. 08/19/2024

DATE: 08L CHG. 08/19/2024

DATE: 08L CHG. 08/19/2024



NOTE: MIN. 6'-0" HEADROOM @ STAIRS

**STAIR # S11**

STAR SPECIFICATIONS  
TOTAL RISE: 6'-11 5/8"  
TOTAL RUN: 8'-0 7/8"  
UNIT RISE: 0'-0 3/4"  
UNIT RUN: 8'-0 7/8"  
STAR WIDTH: 3'-0 1/4"

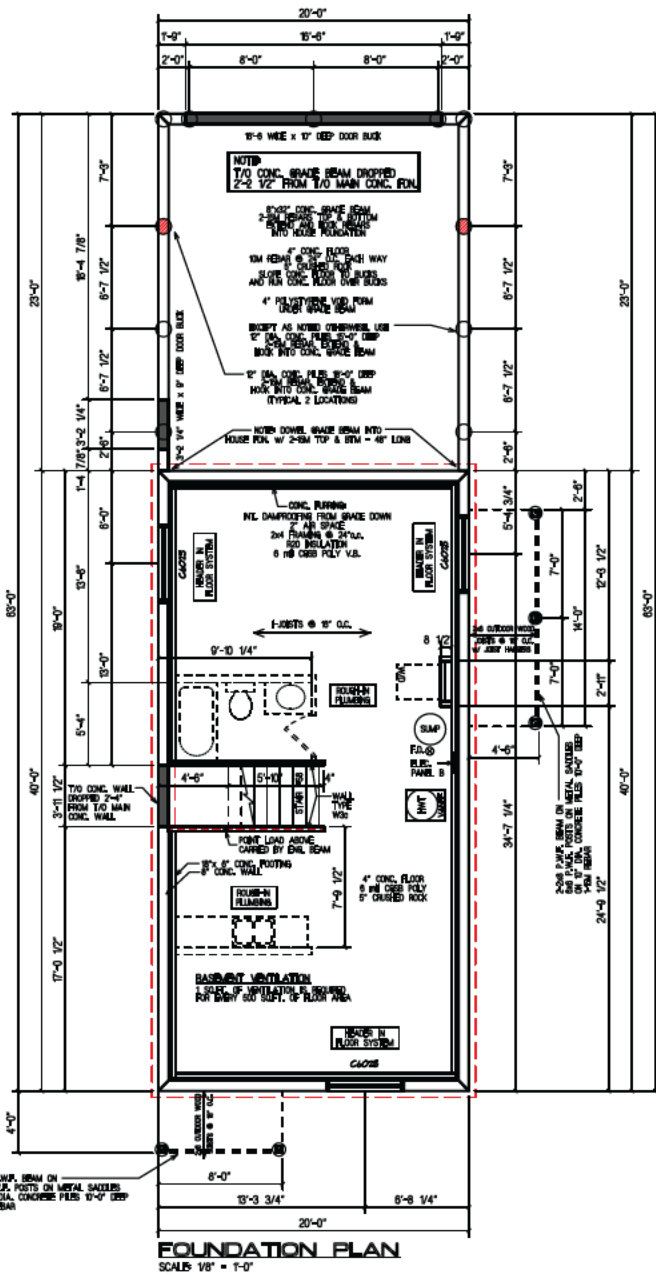
**STAIR # S5**

STAR SPECIFICATIONS  
TOTAL RISE: 3'-2 1/8"  
TOTAL RUN: 8'-0 3/4"  
UNIT RISE: 0'-0 7/8"  
UNIT RUN: 8'-0 3/4"  
STAR WIDTH: 3'-0 1/4"

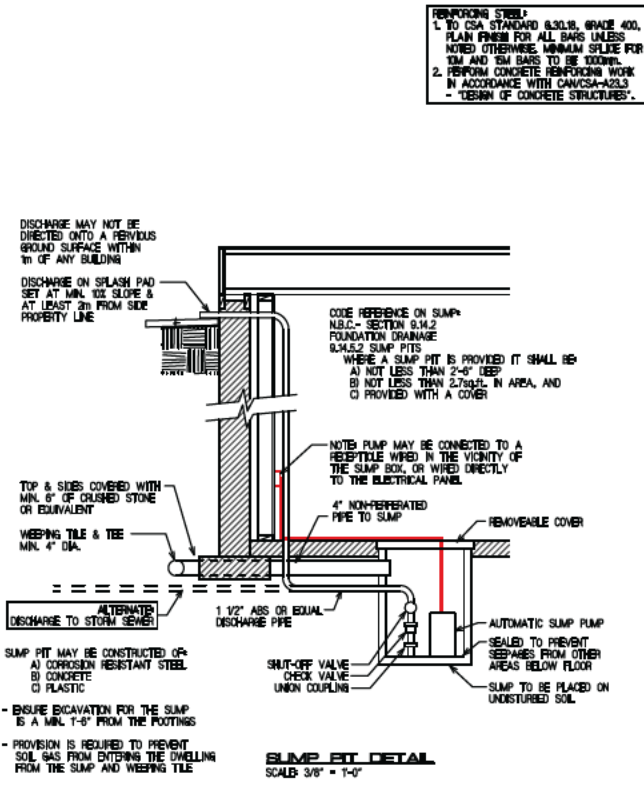
**STAIR # S8**

STAR SPECIFICATIONS  
TOTAL RISE: 0'-8 1/4"  
TOTAL RUN: 8'-0 7/8"  
UNIT RISE: 0'-0 7/8"  
UNIT RUN: 8'-0 7/8"  
STAR WIDTH: 3'-0 1/4"

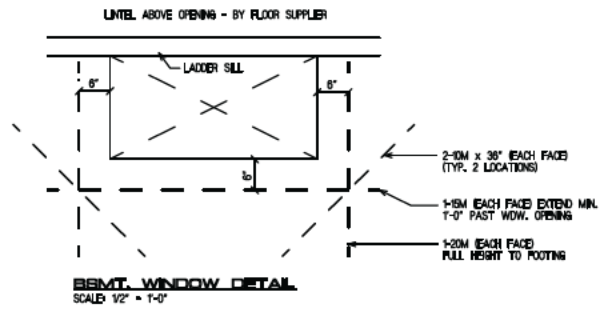




**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"



**SUMP PIT DETAIL**  
SCALE: 3/8" = 1'-0"



**BSMT. WINDOW DETAIL**  
SCALE: 1/2" = 1'-0"

**REINFORCING STEEL:**  
1. TO CSA STANDARD B308, GRADE 400, PLAN FINISH FOR ALL BARS UNLESS NOTED OTHERWISE. MINIMUM SLICE FOR 10M AND 16M BARS TO BE 100MML.  
2. PERFORM CONCRETE REINFORCING WORK IN ACCORDANCE WITH CANVAS-2023 - 'BEGINNING OF CONCRETE STRUCTURES'.

- NOTE:**
1. ALL FOOTINGS TO BE CAST UPON UNDISTURBED SOIL ONLY. ANY OVER EXCAVATION SHALL BE FILLED WITH CONCRETE.
  2. ALL CONC. FOR FOOTINGS, WALLS, GRADE BEAMS SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 25MPa, USING SULPHATE RESISTANT CEMENT TYPE HS.
  3. ALL CONC. FOR THE BSMT. FLOOR SLAB & GARAGE SLAB SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH 20 MPa FOR BSMT. SLAB & 32MPa FOR GARAGE SLAB, USING SULPHATE RESISTANT CEMENT TYPE HS.
  4. PILE DEPTHS INDICATED ARE MINIMUM. INCREASE DEPTHS AS REQUIRED FOR PILES AFFECTED BY EXCAVATION, OR TRENCHING FOR SERVICES.
  5. CONCRETE PROPERTIES FOR PILES - 20 MPa, TYPE HS CEMENT.
  6. FOUNDATION REINFORCEMENT: HORIZONTAL - MINIMUM 2-10M REBAR TAMB VERTICAL - 10M REBAR @ 12" O.C. 2' FROM INSIDE FACE
  7. ENGINEERED FLOORING AND SYSTEMS INCLUDING SUPPORTING BEAMS & SPINDS TO BE DESIGNED BY SUPPLIER & WILL BE SUPPLIED TO BLDG. STDS. PRIOR TO FRAMING INSPECTION.

- NOTE:**
- CONSTRUCTION SHOULD NOT START UNTIL AFTER THE PLAN EXAMINATION REVIEW HAS BEEN COMPLETED AND BUILDING PERMITS ARE ISSUED.
  - FLOOR SYSTEM LAYOUT DESIGNED BY OTHERS. BEAM AND BEAM POCKET SIZES BY OTHERS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM BEAM POCKET SIZES WITH OWNER.
  - ALL BOTTOM PLATES ON THE INTERIOR WALLS BEARING & NON-BEARING THAT SET ON A CONCRETE FLOOR ARE P.W.F. MATERIAL.
  - ALL FOUNDATIONS TO BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE LATEST MUNICIPAL, CITY, PROVINCIAL, AND NATIONAL BUILDING CODES AND/OR AUTHORITY HAVING JURISDICTION.
  - THIS FOUNDATION PLAN HAS BEEN DESIGNED USING STANDARD BUILDING PRACTICES AND CONFORMS TO THE INTENT OF THE CODE. IF SUCH REPORT IS REQUIRED, IT IS THE RESPONSIBILITY OF THE OWNER OR BUILDER TO PROVIDE THE REPORT.
  - FOUNDATION AND FOOTING DESIGN IS TO BE DESIGNED TO SUIT LOCAL SOIL CONDITIONS AND LOAD REQUIREMENTS.
  - FOUNDATION IS TO BE DESIGNED TO ENSURE FOOTINGS AND/OR PILES EXTEND BELOW FROST LEVEL.
  - DIMENSIONS TO BE CHECKED BY INSTALLING CONTRACTOR AND ANY DISCREPANCY TO BE REPORTED TO OWNER.
  - CHECK CROSS SECTION FOR BASEMENT WALL HEIGHTS.
  - THE EXACT FINISHE AND PLANT LOCATION IS TO BE DETERMINED ON SITE BY THE INSTALLING CONTRACTOR.

**BELLE MAISON DEVELOPMENT CORPORATION**

ADDRESS: 3025 EVERGREEN BLVD.

PROJECT: CUSTOM

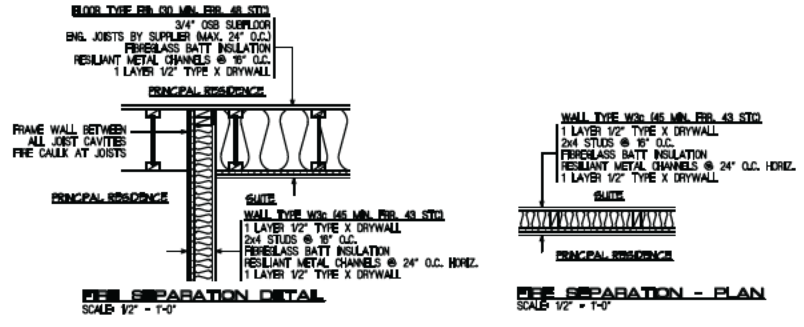
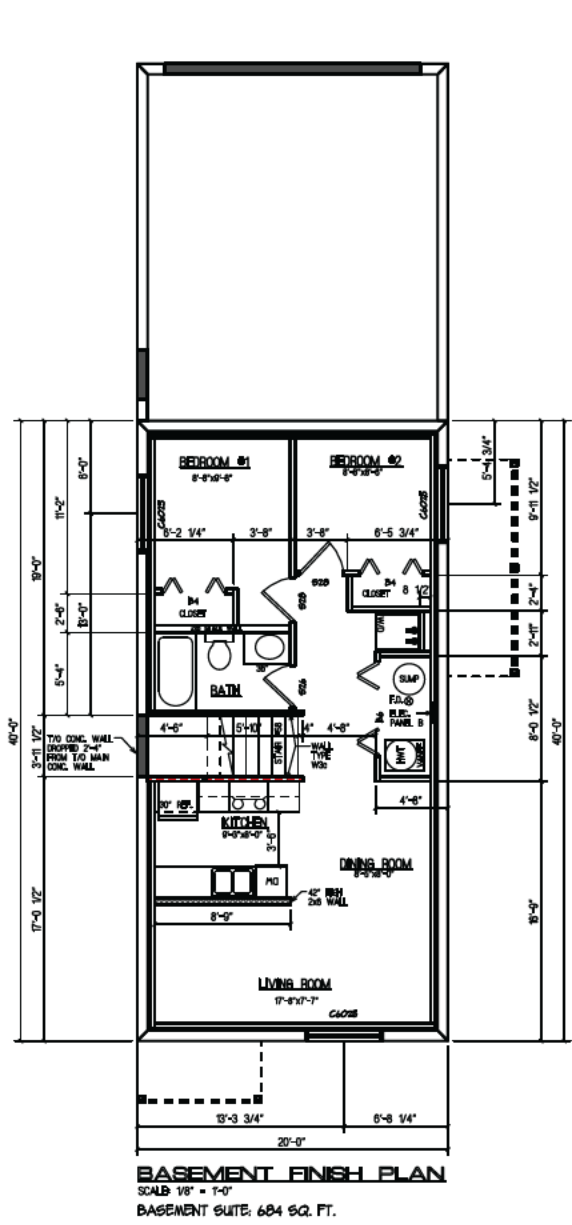
PLAN: K24028

DATE: 26 SEP 2024

DATE: 26 SEP 2024

DATE: 26 SEP 2024

REVISION	DATE	BY	CHKD
01	26 SEP 2024	LFP/PAC	
02	26 SEP 2024	LFP/PAC	
03	20 NOV 2024	LFP/PAC	



NOTE:  
ALL DIMENSIONS MEASURED TO ROUGH OPENING SIZES AND TO BE CONFIRMED BEFORE FRAMING. OPENING SCHEDULE TO BE USED AS A GUIDE ONLY.

OPENING SCHEDULE							MAIN FLOOR PLAN	
NAME	TYPE	QTY.	SWING	HAND	WIDTH	HEIGHT	HEADER HEIGHT	DESCRIPTION
R06	EXTERIOR DOOR	1	-	-	16'-0"	8'-1 1/2"	7'-7 1/2"	16x8 GH DOOR w/ 10" BUCK
C030	EXTERIOR DOOR	2	as per plan	as per plan	3'-2 1/4"	6'-0 5/8"	6'-0 5/8"	3'-0" EXT CLAD DOOR
C030	EXTERIOR DOOR	1	as per plan	as per plan	3'-2 1/4"	6'-0 5/8"	6'-0 5/8"	3'-0" EXT CLAD SERVICE DOOR w/ 6" BUCK
C030	EXTERIOR DOOR	1	as per plan	as per plan	3'-2 1/4"	6'-0 5/8"	6'-0 5/8"	3'-0" EXT CLAD DOOR w/ CLOSURE
C028	EXTERIOR DOOR	1	as per plan	as per plan	2'-8 1/8"	6'-3 3/4"	6'-3 3/4"	1 PANEL CLAD GARAGE DOOR
D018	EXTERIOR DOOR	1	as per plan	as per plan	3'-2 1/4"	6'-0 1/4"	6'-0 1/4"	2-1/2" GBL INTERIOR SWING DOORS
P24	INTERIOR DOOR	1	as per plan	as per plan	4'-2"	7'-0 1/2"	7'-0 1/2"	2-1/2x6-8" POCKET DOOR
S28	INTERIOR DOOR	1	as per plan	as per plan	2'-8"	6'-0 1/4"	6'-0 1/4"	2'-6" INTERIOR SWING DOOR
S28	INTERIOR DOOR	1	as per plan	as per plan	2'-8"	6'-0 1/4"	6'-0 1/4"	2'-6" INTERIOR SWING DOOR
C241	WINDOW	2	-	-	1'-8 1/2"	3'-4 1/8"	6'-11 3/8"	PLYBEM - RO: 20 1/2 x 40 1/8
C7248	WINDOW	1	-	-	5'-11 5/8"	4'-0"	6'-11 3/8"	PLYBEM - RO: 71 5/8 x 48
C7272	WINDOW	1	-	-	5'-11 5/8"	5'-11 5/8"	6'-11 3/8"	PLYBEM - RO: 71 5/8 x 71 5/8

OPENING SCHEDULE							UPPER FLOOR PLAN	
NAME	TYPE	QTY.	SWING	HAND	WIDTH	HEIGHT	HEADER HEIGHT	DESCRIPTION
D020	INTERIOR DOOR	2	as per plan	as per plan	4'-2 1/4"	6'-0 1/4"	6'-0 1/4"	2-2'-0" DOUBLE INTERIOR SWING DOORS
P28	INTERIOR DOOR	1	as per plan	as per plan	5'-0"	7'-0 1/2"	7'-0 1/2"	2'-6"x6-8" POCKET DOOR
P28	INTERIOR DOOR	1	as per plan	as per plan	5'-0"	7'-0 1/2"	7'-0 1/2"	2'-6"x6-8" POCKET DOOR
S16	INTERIOR DOOR	1	as per plan	as per plan	1'-8"	6'-0 1/4"	6'-0 1/4"	1'-6" INTERIOR SWING DOOR
S28	INTERIOR DOOR	2	as per plan	as per plan	2'-8"	6'-0 1/4"	6'-0 1/4"	2'-6" INTERIOR SWING DOOR
S28	INTERIOR DOOR	3	as per plan	as per plan	2'-10"	6'-0 1/4"	6'-0 1/4"	2'-6" INTERIOR SWING DOOR
C241	WINDOW	1	-	-	1'-8 1/2"	3'-4 1/8"	6'-11 3/8"	PLYBEM - RO: 20 1/2 x 40 1/8
C241	WINDOW	1	-	-	2'-0 3/8"	3'-4 1/8"	6'-11 3/8"	PLYBEM - RO: 24 3/8 x 40 1/8
C0041	WINDOW	2	-	-	4'-11 7/8"	3'-4 1/8"	6'-11 3/8"	PLYBEM - RO: 59 7/8 x 40 1/8
C7241	WINDOW	2	-	-	5'-11 5/8"	3'-4 1/8"	6'-11 3/8"	PLYBEM - RO: 71 5/8 x 40 1/8*

OPENING SCHEDULE							BASEMENT FINISH PLAN	
NAME	TYPE	QTY.	SWING	HAND	WIDTH	HEIGHT	HEADER HEIGHT	DESCRIPTION
B4	INTERIOR DOOR	2	as per plan	as per plan	4'-1 1/4"	6'-0 1/2"	6'-9 1/2"	4'-0" BIFOLD
B6	INTERIOR DOOR	1	as per plan	as per plan	6'-1 1/4"	6'-0 1/2"	6'-9 1/2"	6'-0" BIFOLD
S28	INTERIOR DOOR	1	as per plan	as per plan	2'-8"	6'-0 1/4"	6'-0 1/4"	2'-6" INTERIOR SWING DOOR
S28	INTERIOR DOOR	2	as per plan	as per plan	2'-10"	6'-0 1/4"	6'-0 1/4"	2'-6" INTERIOR SWING DOOR
C0025	WINDOW	3	-	-	4'-11 7/8"	2'-0 1/2"	8'-0"	PLYBEM - RO: 59 7/8 x 24 1/2

**BELLE MAISON**  
DEVELOPMENT CORPORATION

ADDRESS: 303 EVERGREEN BLVD.

PROJECT: CUSTOM

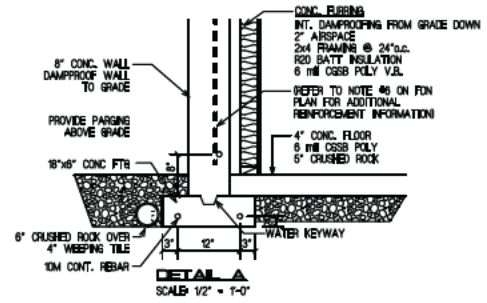
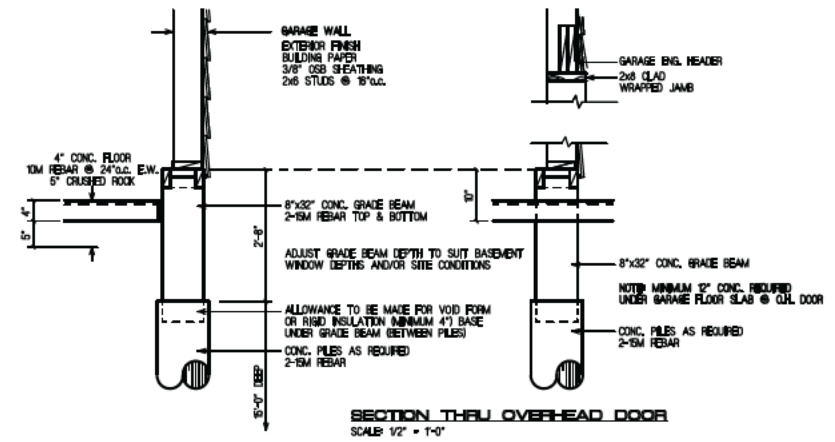
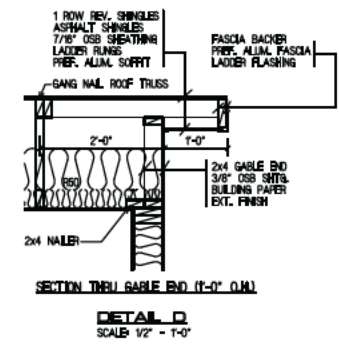
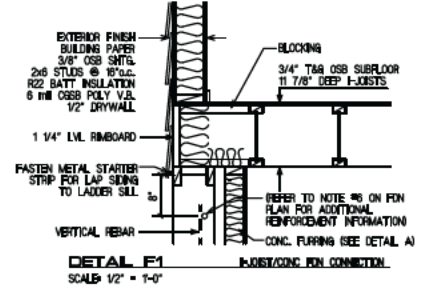
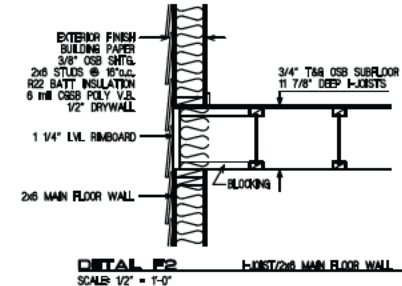
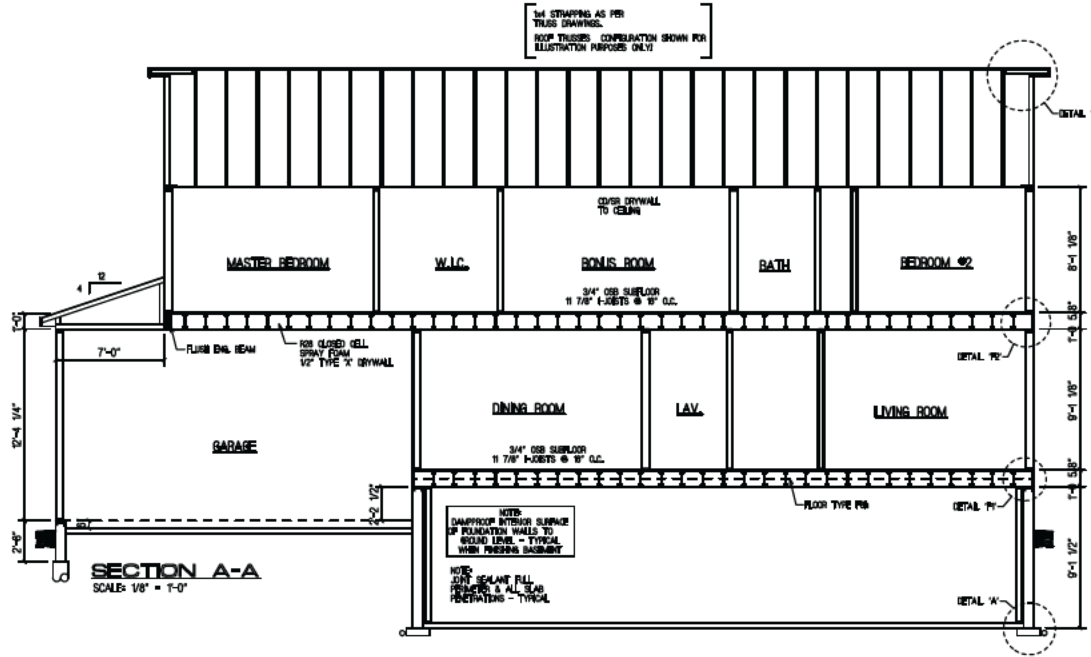
DATE: K24028

DATE: 24 SEP 2024

DATE: 26 SEP 2024

DATE: 30 NOV 2024

SCALE: A5



**NOTE**

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- DIMENSIONS TO BE CHECKED BY INSTALLING CONTRACTOR AND ANY DISCREPANCY TO BE VERIFIED BY OWNER.

**BELLE MAISON DEVELOPMENT CORPORATION**

ADDRESS: 3025 EVERGREEN BLVD.

PROJECT: CUSTOM

DATE: K24028

DATE: A6

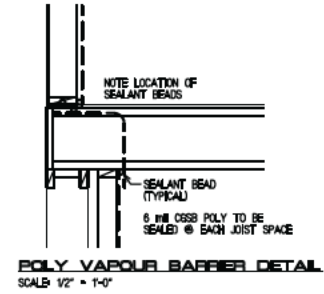
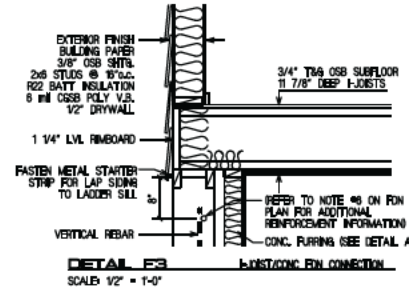
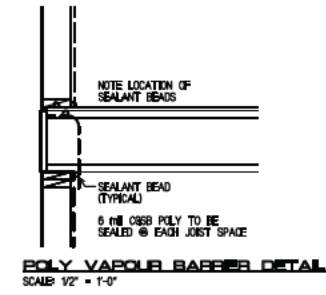
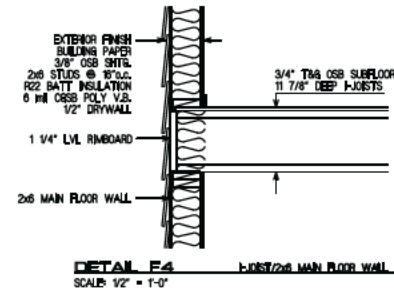
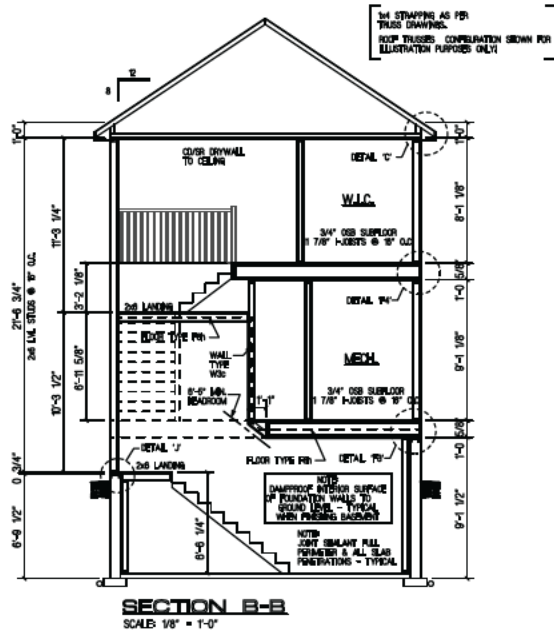
DRAWN BY: LFP/PAACE DESIGN GROUP INC.

DATE: 08/11/2024

DATE: 09/16/2024

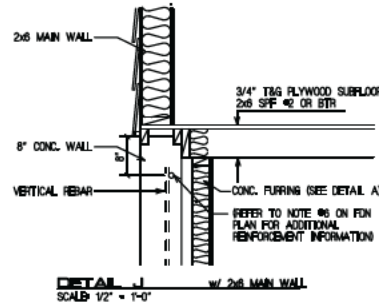
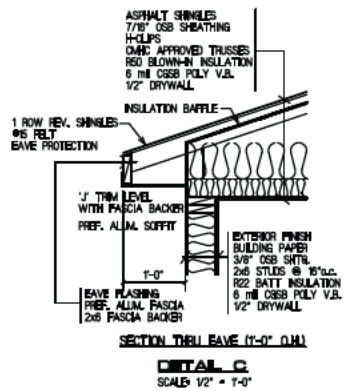
DATE: 10/20/2024

REVISION	DATE	BY	CHKD
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02	26 SEP 2024	LFP/PAACE	
03	20 NOV 2024	LFP/PAACE	



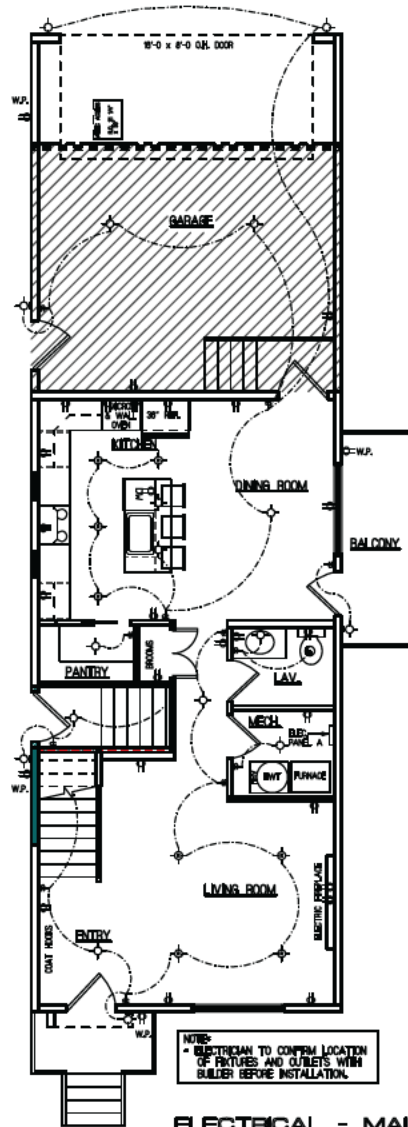
**NOTE**

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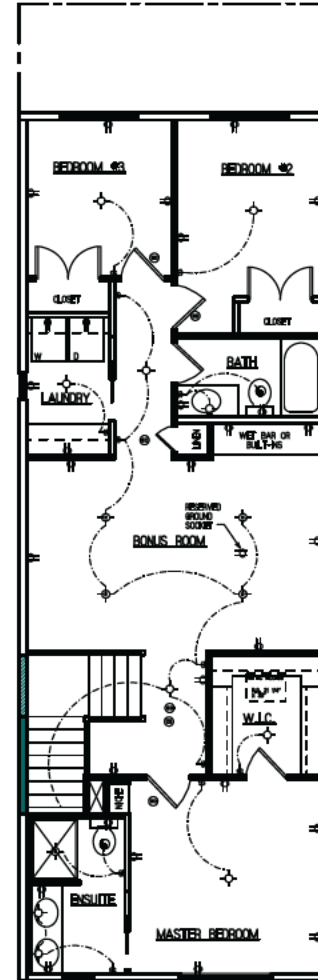


<b>BELLE MAISON DEVELOPMENT CORPORATION</b>			
ADDRESS 3025 EVERGREEN BLVD.			
PROJECT <b>CUSTOM</b>		<b>A7</b>	
OWNER <b>K24028</b>			
DRAWN BY LFP/SPACE DESIGN GROUP INC.			
DATE ORL DRAWN SEPTEMBER 16, 2024			
SPECIFICATION UPDATED 2024			
REVISION	DATE DWN'D	DRAWN	CHECK'D
01	24 SEP 2024	LFP/SPACE	
02	26 SEP 2024	LFP/SPACE	
03	20 NOV 2024	LFP/SPACE	



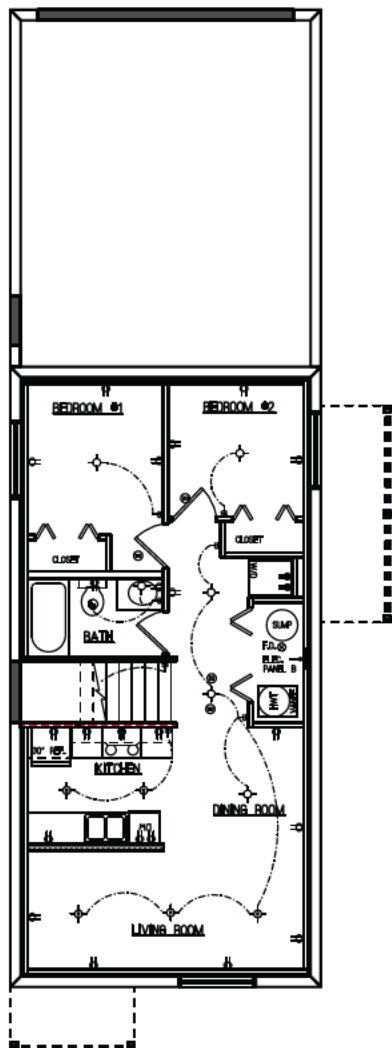


**ELECTRICAL - MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**ELECTRICAL - UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

LEGEND AND NOTES			
<b>ELECTRICAL SYMBOLS</b>			
	-	CEILING OR WALL LIGHT	
	-	SWITCH	
	-	FAN	
	-	DUPLEX RECEPTACLE	
	-	SWITCHED DUPLEX RECEPTACLE	
	-	220 VOLT RECEPTACLE	
	-	SMOKE ALARM	
	-	CARBON MONOXIDE	
	-	PULL CHAIN LIGHT	
	-	RECESSED OR POT LIGHT	
<b>NOTE:</b>			
ALL BEAMS/HEADERS AND POSTS ARE DESIGNED WITH A 50 LB SNOW LOAD. AREAS W/ HIGHER SNOW LOADS WILL REQUIRE RE-DESIGN.			
-	H-CLIPS		
-	TYPICAL BRG. HEADER TO BE 2-2X10 #2 OR BTR. SPRUCE UNLESS NOTED OTHERWISE.		
-	7/16" OSB ROOF SHTG.		
-	3/8" OSB WALL SHTG.		
-	3/4" T&G OSB SUBFLOOR		
-	RAIN LOAD _____ lbs/SQ.FT.		
-	SNOW LOAD _____ lbs/SQ.FT.		
<b>BELLE MAISON DEVELOPMENT CORPORATION</b>			
ADDRESS: 303 EVERGREEN BLVD.			
PROJECT: CUSTOM			A8
JOB #: K24028			
DRAWN BY: LFPSPACE DESIGN GROUP INC.			
DATE ORL DRAWN: SEPTEMBER 16, 2024			
SPECIFICATION UPDATED: 2024			
REVISION	DATE	DRAWN	CHECKED
SWITCH BRANCHES	24 SEP 2024	LFPSPACE	
SWITCH BRANCHES	26 SEP 2024	LFPSPACE	
TRENCH DRAINING	20 NOV 2024	LFPSPACE	



<b>BELLE MAISON</b> DEVELOPMENT CORPORATION			
ADDRESS 303 EVERGREEN BLVD.			
MODEL CUSTOM			A9
PLAN # K2402B			
DRAWN BY LFPSPACE DESIGN GROUP INC.			
DATE ORG. DRAWN SEPTEMBER 16, 2024			
OPERATION UPDATED 2024			
REVISION	DATE DRAWN	DRAWN	CHECKED
SWITCH REVISIONS	24 SEPT 2024	LFPSPACE	
SWITCH REVISIONS	26 SEPT 2024	LFPSPACE	
WATER REVISIONS	20 NOV 2024	LFPSPACE	





Planning & Development Department

Application Form

**DEVELOPMENT APPEAL APPLICATION**

**Applicant Information**

Date of Application: \_\_\_\_\_

Name of Applicant: 102148684 Saskatchewan Ltd

Address: 303 Evergreen Blvd, Saskatoon Postal Code: \_\_\_\_\_

Home Telephone: \_\_\_\_\_ Work Telephone: 306-262-5588 E-mail: hannah.j@bmdvp.com

Applicant's Interest in the Property:  Owner  Tenant  Option to Buy  
 Owner's Representative  Other: \_\_\_\_\_

Registered Property Owner(s): (if different from above)

Name: \_\_\_\_\_

Address: \_\_\_\_\_ Postal Code: \_\_\_\_\_

Home Telephone: \_\_\_\_\_ Work Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Location of Subject Property**

Legal Description: Lot (s) 59, Block 645, Plan No. 102429143

Civic Address: 303 Evergreen Blvd, Saskatoon

**Present Status of Building or Structure Under Appeal:**

Construction not yet begun  Under Construction  Completed

**Type of Construction:**

Residential  Commercial  Industrial  Other (specify) \_\_\_\_\_

Description of Development Appeal: (example: side yard deficiency, parking deficiency, etc.)

front setback deficiency and site coverage deficiency

**Reason for Development Appeal:** (as per *The Planning and Development Act, 2007*, applicants have 5 days prior to the appeal hearing date to submit drawings and written materials)

we would like to have the 6m setback from the 12.79m property line. Doing this will not only help build a proper sized single dwelling, but It will also help with the curb appeal on that parcel. Having the dwelling pushed further back than any of the other houses on that parcel will seem off and out of place

Application for Development Permit has been submitted to the Community Services Dept. and subsequently been denied on 20250227 (date)

**Attachments**

Please ensure the following has been attached:

1. Application Fee: I have enclosed the required **\$50.00**, non-refundable Application Fee Fee Attached   
(please make cheques payable to *City of Saskatoon*)

**Declaration of Applicant**

I hereby certify that all the above statements contained within this application are true, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath, and by virtue of *The Canada Evidence Act*.

\_\_\_\_\_  
Signature Applicant

20250326  
Date

**For Office Use Only:**

Comments: \_\_\_\_\_ File No: \_\_\_\_\_  
Cash Receipt No: \_\_\_\_\_ Amount Paid: \_\_\_\_\_ Cheque No: \_\_\_\_\_

## R.1

February 27, 2025

Graham Figg  
BelleMaison Development Corp  
231 Feheregyhazi Blvd  
Saskatoon, SK S7W 1G8

### SENT VIA EMAIL

Re: Development Permit Denial: NHS-2025-00923  
Proposal: New One Unit Dwelling  
Site Address: 303 Evergreen Boulevard  
Zoning District: RMTN – Townhouse Residential District

The Planning and Development Division has reviewed your submitted Building and Development Permit application. After review, the following deficiencies have been noted with the City of Saskatoon's Zoning Bylaw 9990:

1. Requirement: Section 8.8.2 states a one unit dwelling requires a minimum front yard building setback of 6 metres.

Proposed: A front yard setback of 0.997 metres is proposed.

Deficiency: This results in a front yard setback deficiency of 5.003 metres.

2. Requirement: Section 8.8.2 states the site coverage maximum for a one unit dwelling is 40%.

Proposed: A site coverage of 40.995% is proposed.

Deficiency: This results in 0.995% over the maximum permitted site coverage.

As consequence, the Planning and Development Division cannot approve your plans for a Development Permit.

Should you wish, you may appeal this decision to the Development Appeal Board. To proceed with a appeal request please fill out the online Development Appeal application form available through the following link: <https://capps.saskatoon.ca/development-appeals/> within 30 days of the date of this letter. Note there is a application fee of \$50 for this process. Attached to this email is general information about the Development Appeal process, as well as a extract from the Planning and Development Act 2007.

Alternatively, to continue with your application you may submit revised drawings that address the above points for further review within 30 days of the date of this letter to the online permit portal.

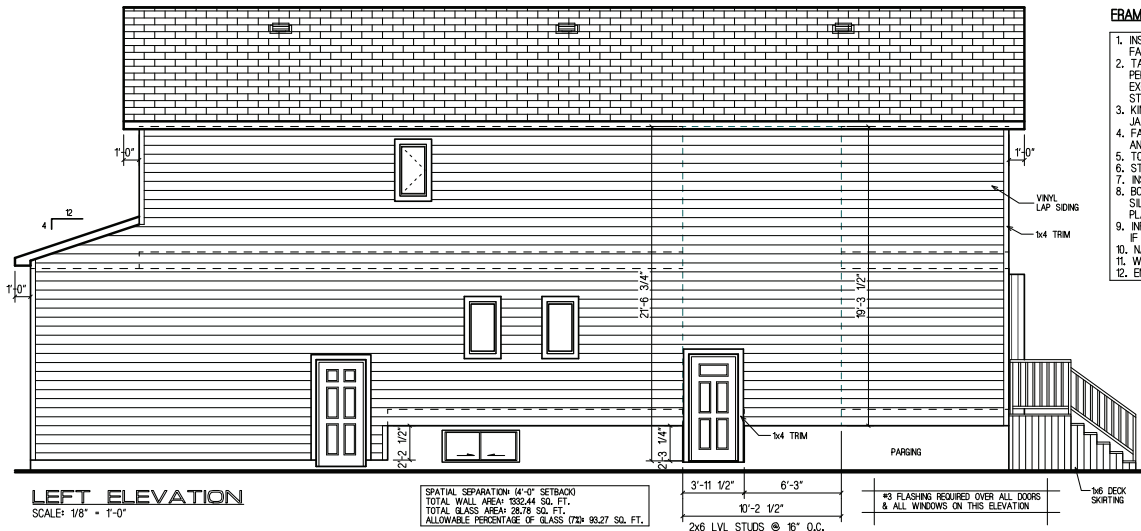
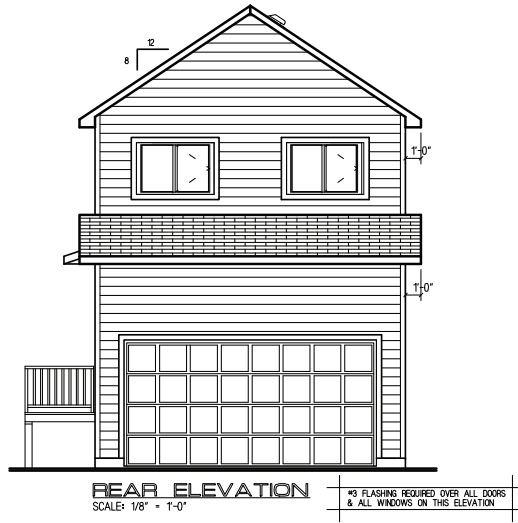
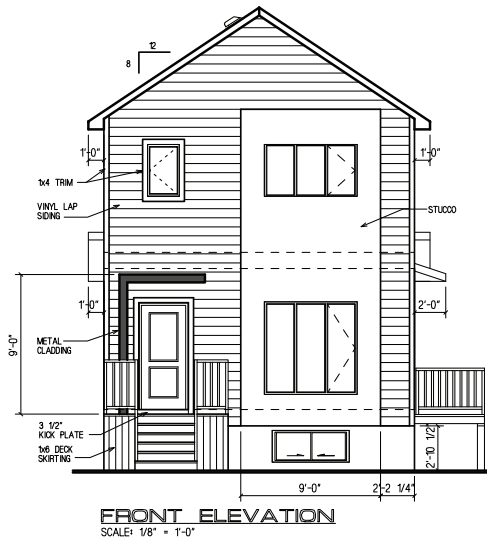
If you have any questions about this information, please let me know.

Sincerely,



Vanessa Champagne  
Planning and Development Division (306-975-2659)  
[vanessa.champagne@saskatoon.ca](mailto:vanessa.champagne@saskatoon.ca)

cc: Brent McAdam, Planning and Development  
Development Appeal Board Secretary, City Clerks



SPATIAL SEPARATION: 4'-0" SETBACK  
TOTAL WALL AREA: 832.44 SQ. FT.  
TOTAL GLASS AREA: 28.76 SQ. FT.  
ALLOWABLE PERCENTAGE OF GLASS: 72% 93.27 SQ. FT.

**FRAMING NOTES FOR ENGINEER TALL WALL**

1. INSTALL ALL LINTELS, JACK STUDS, CRIPPLES, PLATES, SHEETING AND FASTENERS AS PER CURRENT NBC.
2. TALL WALL STUDS AND BUILT-UP COLUMNS TO BE SIZE/SPACING AS PER PLAN. INSTALL SIMPSON L50 TOP AND BOTTOM OF ALL STUDS EXCEEDING 10FT IN HEIGHT (NOT REQUIRED AT CORNERS). TALL WALL STUDS AND KING STUDS TO BE FULL HEIGHT CONTINUOUS TO US OF ROOF.
3. KING STUDS TO BE # OF PLYS AS PER PLAN IN ADDITION TO REQUIRED JACK STUDS. INSTALL SIMPSON L50 TOP AND BOTTOM OF KING STUD COLUMNS.
4. FASTEN BUILT-UP COLUMNS w/ 2 NAILS @ 12" O.C. EACH PLY (4" FROM TOP AND BOTTOM OF WALL). INSTALL NAILS BOTH SIDES FOR JACK STUD.
5. TOP AND BOTTOM PLATES TO BE SPF MATERIAL.
6. STAGGERED BLOCKING AT MAXIMUM 48" O.C.
7. INSTALL ALL SIMPSON FRAMING CLIPS WITH MANUFACTURER APPROVED FASTENERS.
8. BOTTOM PLATES ON CONCRETE WALL TO BE PRESSURE TREATED OR PROVIDE SILL GASKET/6 mil POLY FOR PROTECTION FROM DAMPNESS). FASTEN BOTTOM PLATES WITH NAILS 4" O.C. TO CONCRETE LADDER.
9. INFILL FRAMING BETWEEN AND BELOW OPENINGS MAY BE 2x6 SPF @ 16" O.C. IF STUD SPAN IS LESS THAN 4'-0".
10. NAILS TO BE 3 1/4" 12D UNLD.
11. WOOD PROPERTIES: S-P-F NO. 2 OR BETTER.
12. ENGINEERED WOOD PROPERTIES: LSL 155E OR BETTER.

**NOTE!**  
NO VENTED SOFFITS WITHIN 12m OF THE PROPERTY LINE. PROTECT SOFFITS AS PER NBC 9.10.16.5.(10). ENSURE MIN. 25% OF ROOF VENT AT LOW END OF ROOF. (USE LOW ROOF VENTS AS REQUIRED BY OWNER MOUNTED 50" UP FROM FASCIA)

**EXTERIOR FINISH AS PER SPEC.**  
GRADE IS ONLY SUGGESTED AND MUST BE ADJUSTED TO SUIT INDIVIDUAL SITE CONDITIONS. ADJUST CONCRETE STEPS TO SUIT GRADE.

**BELLE MAISON**  
DEVELOPMENT CORPORATION

ADDRESS: 303 EVERGREEN BLVD.

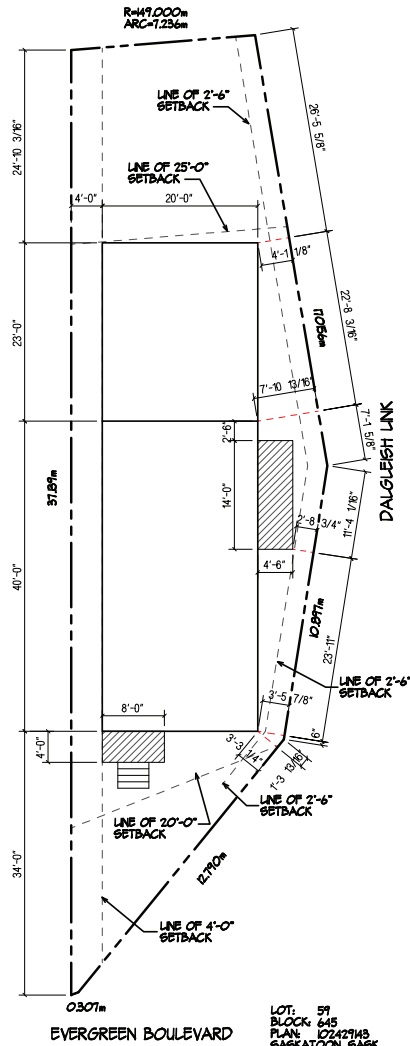
MODEL: **CUSTOM**

ORDER #: **K24028**

DATE ORG. DRAWN: SEPTEMBER 16, 2024

DATE SPECIFICATION UPDATE: 2024

REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
SKETCH REVISIONS	24 SEPT 2024	LIFESPACE	
SKETCH REVISIONS	26 SEPT 2024	LIFESPACE	
WORKING DRAWINGS	11 NOV 2024	LIFESPACE	



LOT: 59  
BLOCK: 645  
PLAN: 02427143  
SASKATOON, SASK.  
CIVIC ADDRESS:  
303 EVERGREEN BLVD.



**RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"

NOTE:  
NO VENTED SOFFITS WITHIN 12m OF THE PROPERTY LINE. PROTECT SOFFITS AS PER NBC 9.10.6.5.(10). ENSURE MIN. 25% OF ROOF VENT AT LOW END OF ROOF.  
(USE LOW ROOF VENTS AS REQUIRED BY OWNER MOUNTED 50" UP FROM FASCIA)

**EXTERIOR FINISH AS PER SPEC.**  
GRADE IS ONLY SUGGESTED AND MUST BE ADJUSTED TO SUIT INDIVIDUAL SITE CONDITIONS.  
ADJUST CONCRETE STEPS TO SUIT GRADE.

Association of Professional Engineers & Geoscientists  
of Saskatchewan  
**CERTIFICATE OF AUTHORIZATION**  
**Active Engineers**  
Number 21392  
Permission to Consult held by:  
Discipline Sk. Reg. No Signature  
CIVIL 16860

**BELLE MAISON**  
DEVELOPMENT CORPORATION

ADDRESS:  
303 EVERGREEN BLVD.

MODEL:  
**CUSTOM**

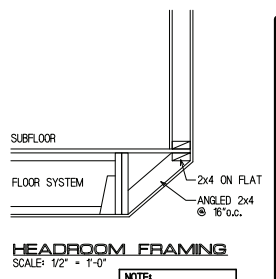
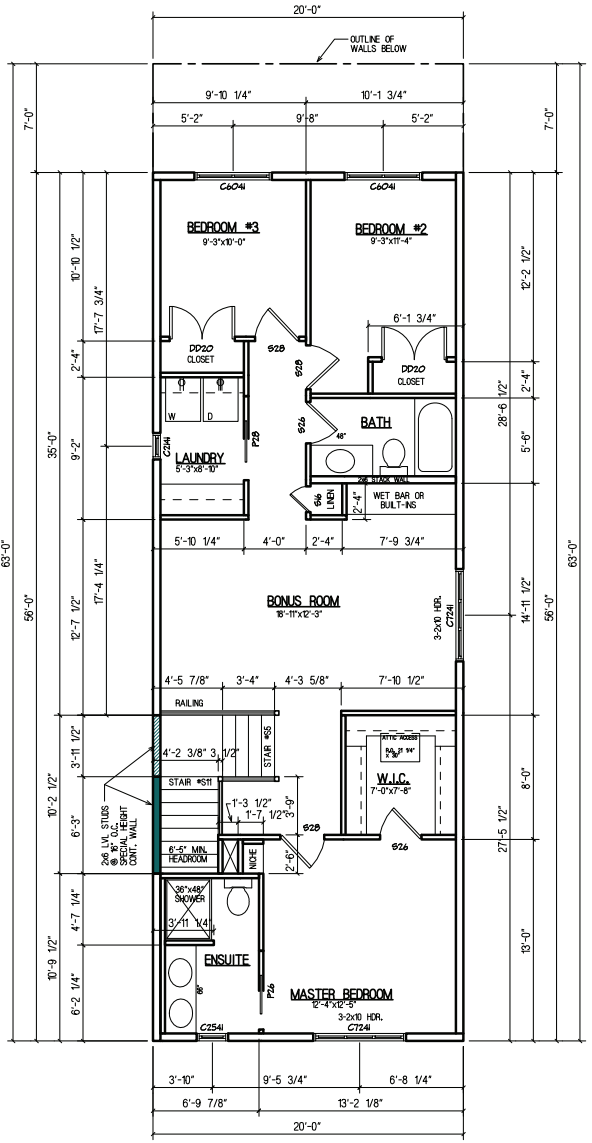
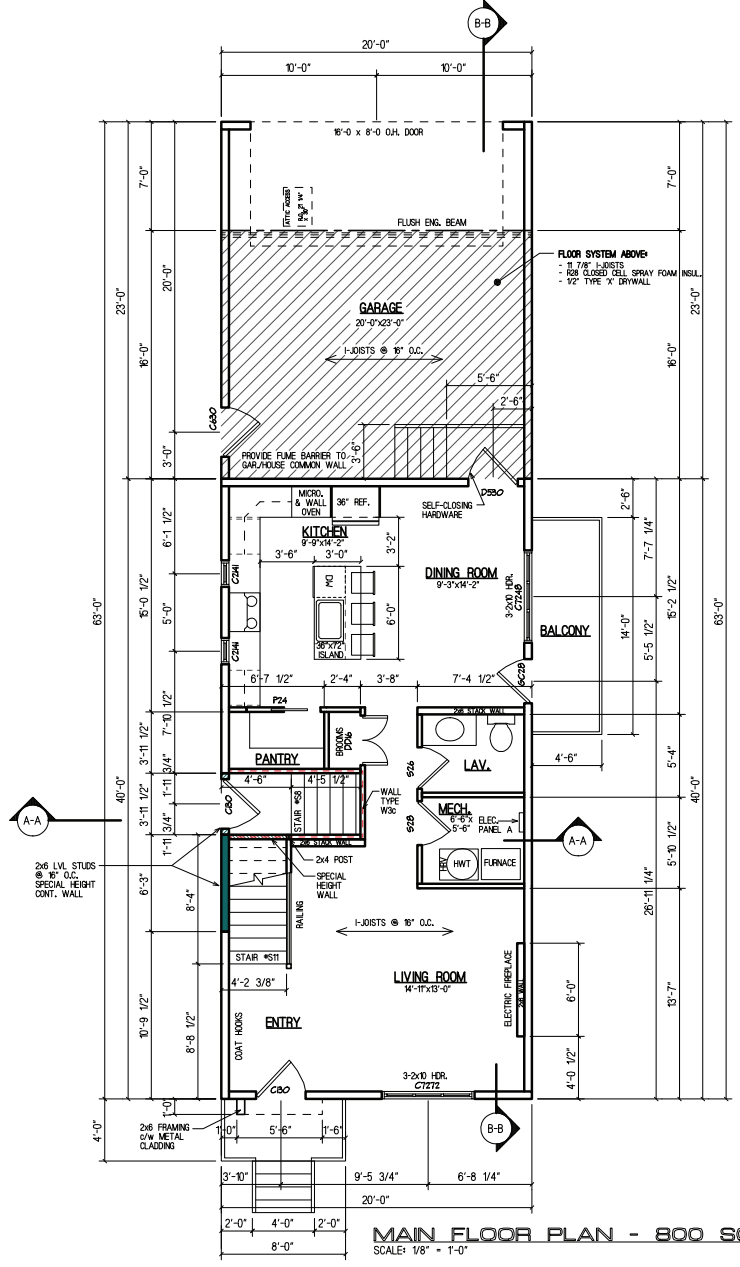
ORDER #:  
**K24028**

DATE ORIG. DRAWN: SEPTEMBER 16, 2024

(DRAWN BY: LIFESPACE DESIGN (2020) INC.)  
SPECIFICATION UPDATE: 2024

REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
SKETCH REVISIONS	24 SEPT 2024	LIFESPACE	
SKETCH REVISIONS	26 SEPT 2024	LIFESPACE	
WORKING DRAWINGS	17 NOV 2024	LIFESPACE	





**STAIR # S11**  
STAIR SPECIFICATIONS

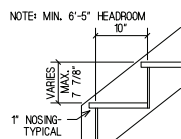
TOTAL RISE	6'-11 5/8"
TOTAL RUN	8'-4"
UNIT RISE	0'-7 5/8"
UNIT RUN	0'-10"
STAIR WIDTH	3'-0 1/4"

**STAIR # S5**  
STAIR SPECIFICATIONS

TOTAL RISE	3'-2 1/8"
TOTAL RUN	3'-4"
UNIT RISE	0'-7 5/8"
UNIT RUN	0'-10"
STAIR WIDTH	3'-0 1/4"

**STAIR # S8**  
STAIR SPECIFICATIONS

TOTAL RISE	6'-6 1/4"
TOTAL RUN	8'-4"
UNIT RISE	0'-7 5/8"
UNIT RUN	0'-10"
STAIR WIDTH	3'-0 1/4"



- NOTE:**
- CONTRACTOR TO VERIFY ALL DOOR & WINDOW ROUGH OPENING DIMENSIONS WITH SUPPLIERS.
  - ALL SMOKE DETECTORS TO BE HARD WIRED & INTERCONNECTED.
  - THE EXACT HEAT INSTALLATION, ELECTRICAL OUTLETS, & ELECTRICAL PANEL LOCATION TO BE THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR. (CONFIRM WITH OWNER)
  - 2-2x10 HEADERS OVER ALL OPENINGS UNLESS OTHERWISE NOTED.
  - 3-2x8 HEADERS OR ENGINEERED TRUSS AT 9'-0" & OVER O.H. DOOR LOCATIONS.
  - INTERIOR PARTITIONS TO BE 2x4 STUDS @ 16" o.c. WITH 1/2" DRYWALL EACH SIDE.
  - ENGINEERED FLOOR & ROOF SYSTEMS INCLUDING SUPPORTING BEAMS & GIRDERS TO BE DESIGNED BY SUPPLIER & WILL BE SUPPLIED TO BUILDING STANDARDS PRIOR TO FRAMING INSPECTION.

**LEGEND AND NOTES**

**ELECTRICAL SYMBOLS**

- - CEILING OR WALL LIGHT
- ⊕ - SWITCH
- ⊙ - FAN
- ⊕ - DUPLEX RECEPTACLE
- ⊕ - SWITCHED DUPLEX RECEPTACLE
- ⊕ - 220 VOLT RECEPTACLE
- ⊕ - SMOKE ALARM
- ⊕ - CARBON MONOXIDE
- ⊕ - PULL CHAIN LIGHT
- ⊕ - RECESSED OR POT LIGHT

- NOTE!**
- ALL BEAMS/HEADERS AND POSTS ARE DESIGNED WITH A 50 LB SNOW LOAD. AREAS W/ HIGHER SNOW LOADS WILL REQUIRE RE-DESIGN.
- H-CLIPS
  - TYPICAL BRG. HEADER TO BE 2-2X10 #2 OR BTR. SPRUCE UNLESS NOTED OTHERWISE
  - 7/16" OSB ROOF SHTG.
  - 3/8" OSB WALL SHTG.
  - 3/4" T&G OSB SUBFLOOR
  - RAIN LOAD \_\_\_\_\_ lbs/sq.ft.
  - SNOW LOAD \_\_\_\_\_ lbs/sq.ft.

**BELLE MAISON DEVELOPMENT CORPORATION**

ADDRESS: 3035 EVERGREEN BLVD.

MODEL: **CUSTOM**

ORDER #: **K24028**

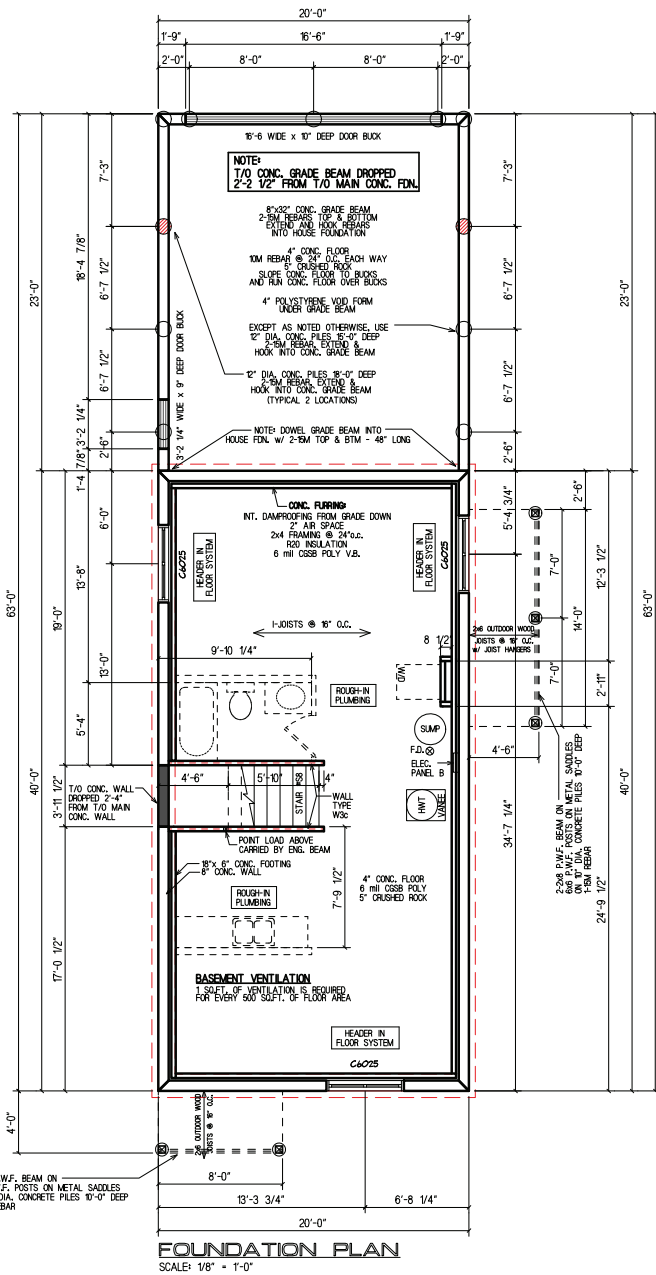
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DATE ORIG. DRAWN: SEPTEMBER 16, 2024

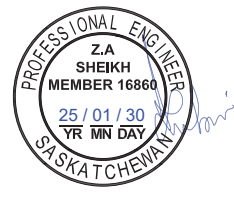
SPECIFICATION UPDATE: 2024

REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
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SKETCH REVISIONS	26 SEPT 2024	LIFESPACE	
WORKING DRAWINGS	11 NOV 2024	LIFESPACE	

**A3**

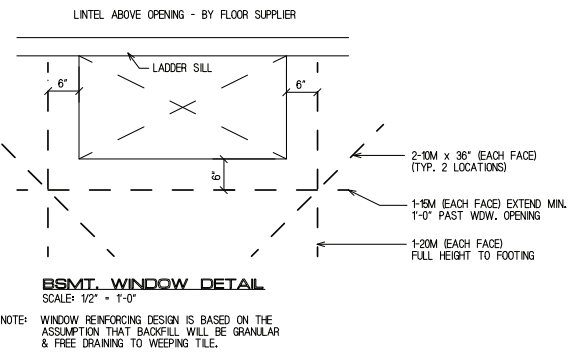
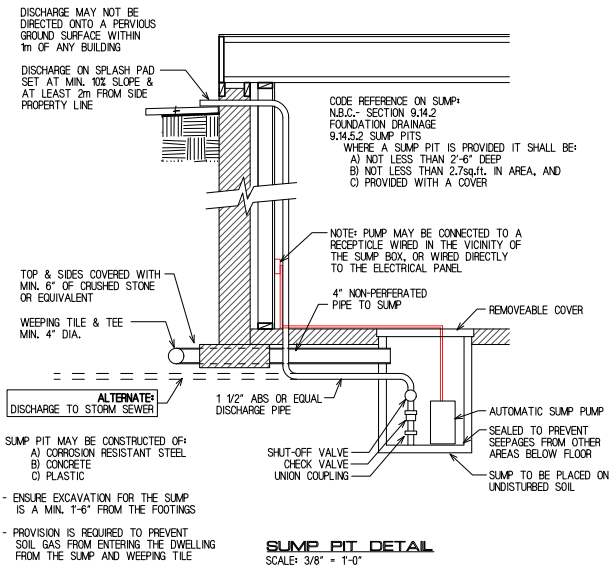


Piles, Grade Beam and laterally unsupported foundation wall at stairs  
Wood tall wall with stairs



**REINFORCING STEEL:**  
1. TO CSA STANDARD 8.30R, GRADE 400, PLAIN FINISH FOR ALL BARS UNLESS NOTED OTHERWISE. MINIMUM SPLICE FOR 10M AND 5M BARS TO BE 1000mm.  
2. PERFORM CONCRETE REINFORCING WORK IN ACCORDANCE WITH CANVASA-228 - "DESIGN OF CONCRETE STRUCTURES".

THE CAST-IN-PLACE CONC. PILE DESIGN IS BASED ON THE ASSUMPTION THAT THE SOIL IS COHESIVE (CLAY OR SILT) AND HAS A MINIMUM SKIN FRICTION CAPACITY OF 20kPa. IF THE CONTRACTOR OBSERVES A SOIL THAT IS COHESIONLESS (SAND OR SILT), CONCRETE PILES MAY NOT BE APPROPRIATE. ALSO, IF THE PILES ARE PLACED IN FILL MATERIAL MORE THAN 6'-0" IN DEPTH, THE PILE SHOULD BE LENGTHENED BY THE FILL DEPTH GREATER THAN 6'-0".



- NOTE1**
- ALL FOOTINGS TO BE CAST UPON UNDISTURBED SOIL ONLY. ANY OVER EXCAVATION SHALL BE FILLED WITH CONCRETE.
  - ALL CONC. FOR FOOTINGS, WALLS, GRADE BEAMS SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 25MPa, USING SULPHATE RESISTANT CEMENT TYPE HS.
  - ALL CONC. FOR THE BSMT. FLOOR SLAB & GARAGE SLAB SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH 20 MPa FOR BSMT. SLAB & 32MPa FOR GARAGE SLAB, USING SULPHATE RESISTANT CEMENT TYPE HS.
  - PILE DEPTHS INDICATED ARE MINIMUM. INCREASE DEPTHS AS REQUIRED FOR PILES AFFECTED BY EXCAVATION, OR TRENCHING FOR SERVICES.
  - CONCRETE PROPERTIES FOR PILES - 20 MPa, TYPE HS CONCRETE.
  - FOUNDATION REINFORCEMENT: HORIZONTAL - MINIMUM 2-10M REBAR T/M/B VERTICAL - 10M REBAR @ 12" O.C., 2" FROM INSIDE FACE
  - ENGINEERED FLOOR & ROOF SYSTEMS INCLUDING SUPPORTING BEAMS & GIRDERS TO BE DESIGNED BY SUPPLIER & WILL BE SUPPLIED TO BLDG. STDS. PRIOR TO FRAMING INSPECTION.

- NOTE1**
- CONSTRUCTION SHOULD NOT START UNTIL AFTER THE PLAN EXAMINATION REVIEW HAS BEEN COMPLETED AND BUILDING PERMITS ARE ISSUED.
  - FLOOR SYSTEM LAYOUT DESIGNED BY OTHERS. BEAM AND BEAM POCKET SIZES BY OTHERS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM BEAM POCKET SIZES WITH OWNER.
  - ALL BOTTOM PLATES ON THE INTERIOR WALLS (BEARING & NONBEARING) THAT SIT ON A CONCRETE FLOOR ARE P.W.F. MATERIAL.
  - ALL FOUNDATIONS TO BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE LATEST MUNICIPAL, CITY, PROVINCIAL, AND NATIONAL BUILDING CODES AND/OR AUTHORITY HAVING JURISDICTION.
  - THIS FOUNDATION PLAN HAS BEEN DESIGNED USING STANDARD BUILDING PRACTICES, AND CONFORMS TO THE INTENT OF THE CODE. IT IS POSSIBLE THAT LOCAL AUTHORITIES MAY REQUIRE AN ENGINEER'S REPORT TO CONFIRM THIS DESIGN. IF SUCH REPORT IS REQUIRED, IT IS THE RESPONSIBILITY OF THE OWNER OR BUILDER TO PROVIDE THE REPORT.
  - FOUNDATION AND FOOTING DESIGN IS TO BE DESIGNED TO SUIT LOCAL SOIL CONDITIONS AND LOAD REQUIREMENTS.
  - FOUNDATION IS TO BE DESIGNED TO ENSURE FOOTINGS AND/OR PILES EXTEND BELOW FROST LEVEL.
  - DIMENSIONS TO BE CHECKED BY INSTALLING CONTRACTOR AND ANY DISCREPANCY TO BE REPORTED TO OWNER.
  - CHECK CROSS SECTION FOR BASEMENT WALL HEIGHTS.
  - THE EXACT FURNACE AND H.W.T. LOCATION IS TO BE DETERMINED ON SITE BY THE INSTALLING CONTRACTOR.

**BELLE MAISON DEVELOPMENT CORPORATION**

ADDRESS: 303 EVERGREEN BLVD.

MODEL: CUSTOM

ORDER #: K24028

DRAWN BY: LIFESPACE DESIGN (2024) INC.

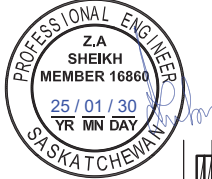
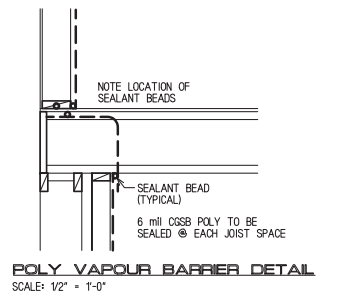
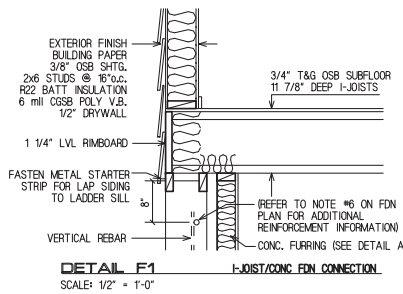
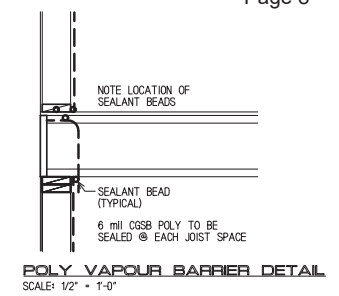
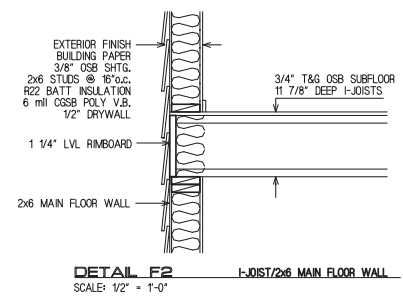
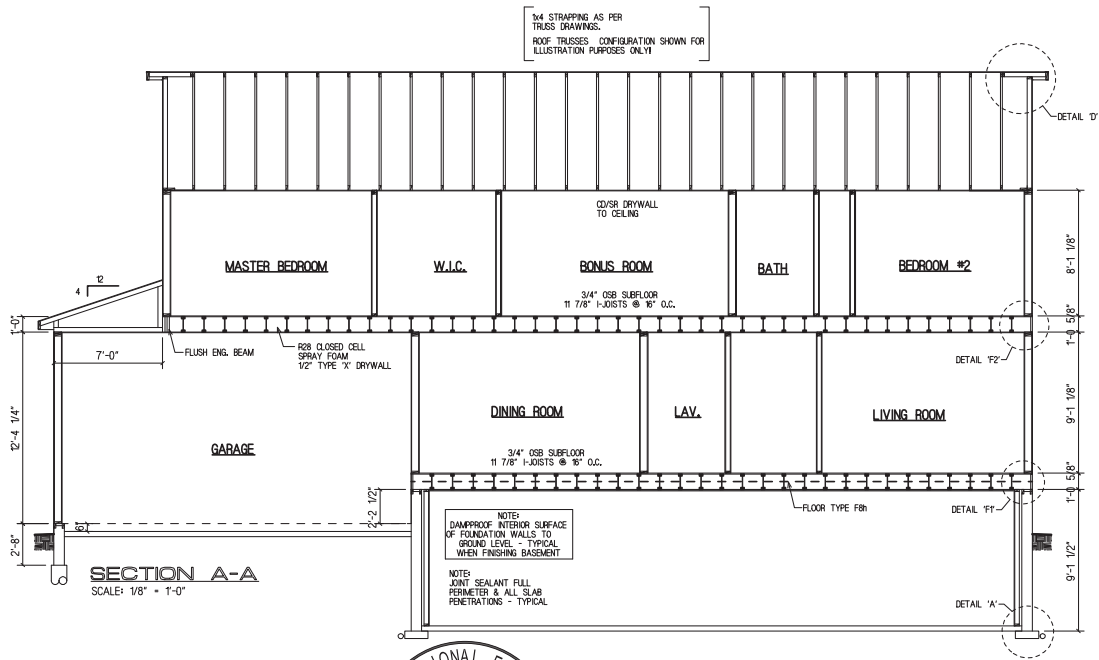
DATE ORIG. DRAWN: SEPTEMBER 16, 2024

SPECIFICATION UPDATE: 2024

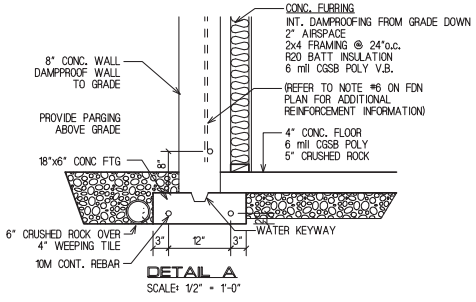
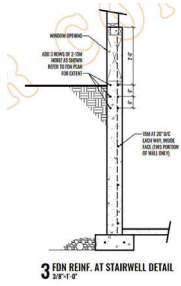
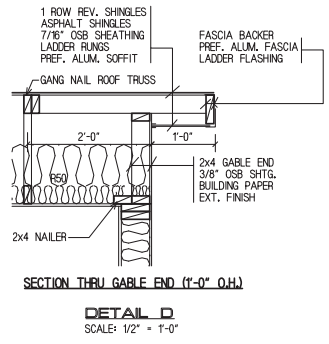
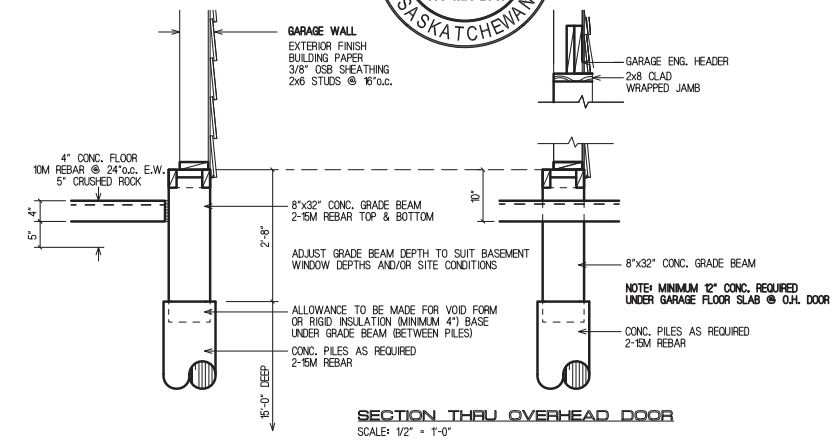
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SKETCH REVISIONS	24 SEPT 2024	LIFESPACE	
SKETCH REVISIONS	26 SEPT 2024	LIFESPACE	
WORKING DRAWINGS	8 NOV 2024	LIFESPACE	

A4





Piles, Grade Beam and laterally unsupported foundation wall at stairs Wood tall wall only



**NOTE**

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- DIMENSIONS TO BE CHECKED BY INSTALLING CONTRACTOR AND ANY DISCREPANCY TO BE VERIFIED BY OWNER.

**BELLE MAISON**  
DEVELOPMENT CORPORATION

ADDRESS  
3003 EVERGREEN BLVD.

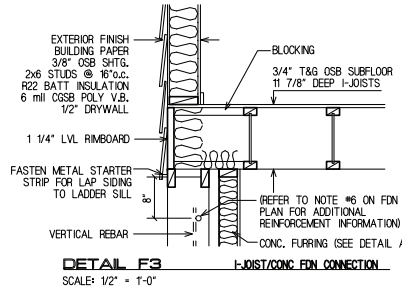
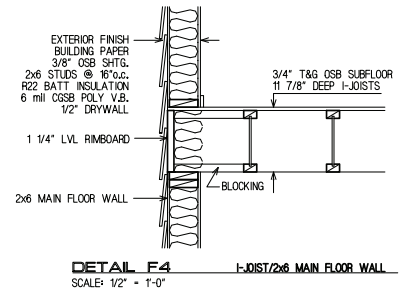
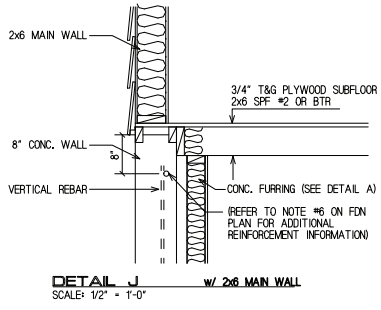
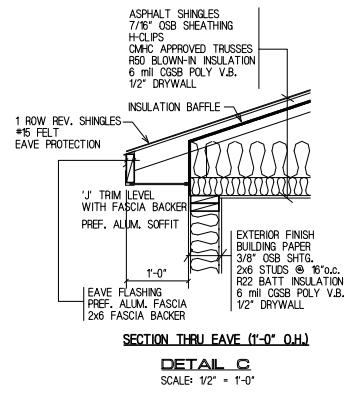
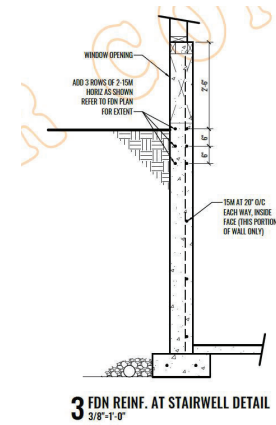
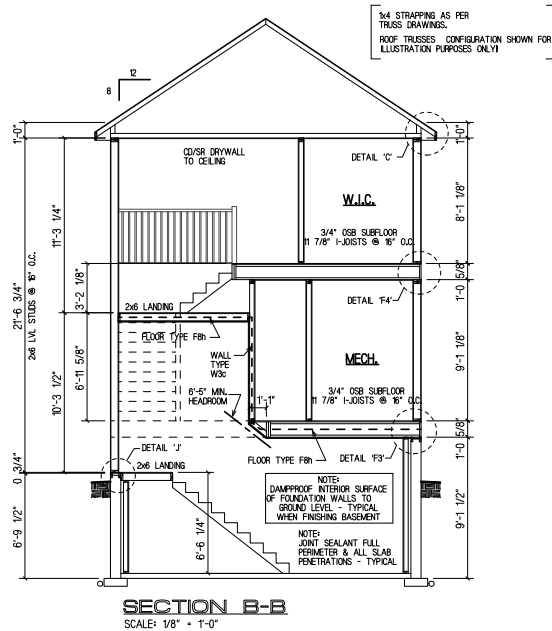
MODEL  
CUSTOM

ORDER #  
K24028

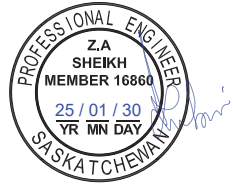
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(DRAWN BY) LIFESPACEDesign (2024) INC.  
DATE ORIG. DRAWN: SEPTEMBER 16, 2024  
SPECIFICATION UPDATE: 2024

REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
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SKETCH REVISIONS	26 SEPT 2024	LIFESPACEDesign	
WORKING DRAWINGS	11 NOV 2024	LIFESPACEDesign	



Piles, Grade Beam and laterally unsupported foundation wall at stairs  
Wood tall wall only



**NOTE**

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- DIMENSIONS TO BE CHECKED BY INSTALLING CONTRACTOR AND ANY DISCREPANCY TO BE VERIFIED BY OWNER.

**BELLE MAISON**  
DEVELOPMENT CORPORATION

ADDRESS  
303 EVERGREEN BLVD.

MODEL  
CUSTOM

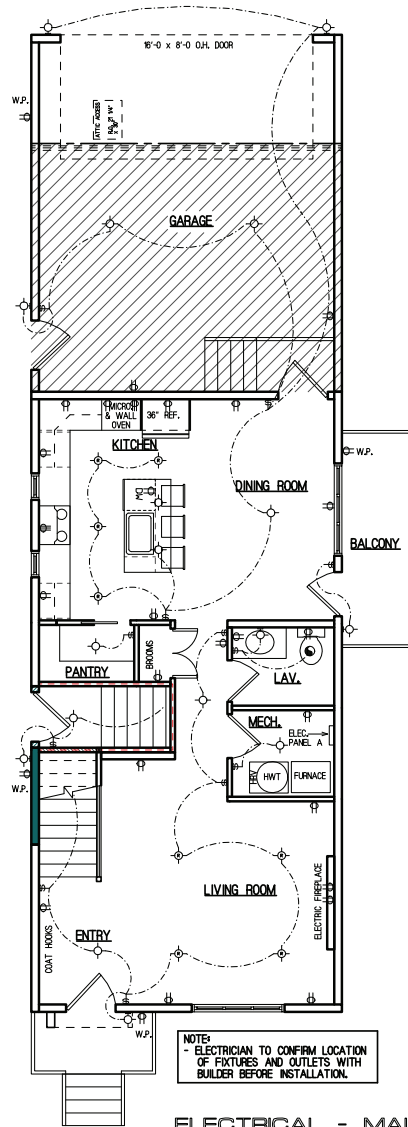
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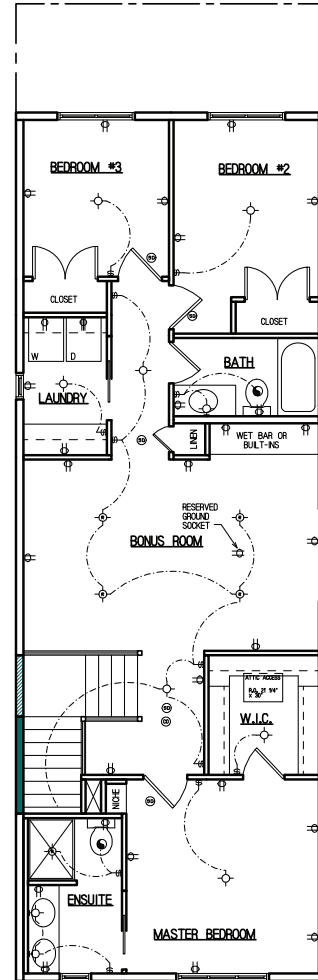
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A7



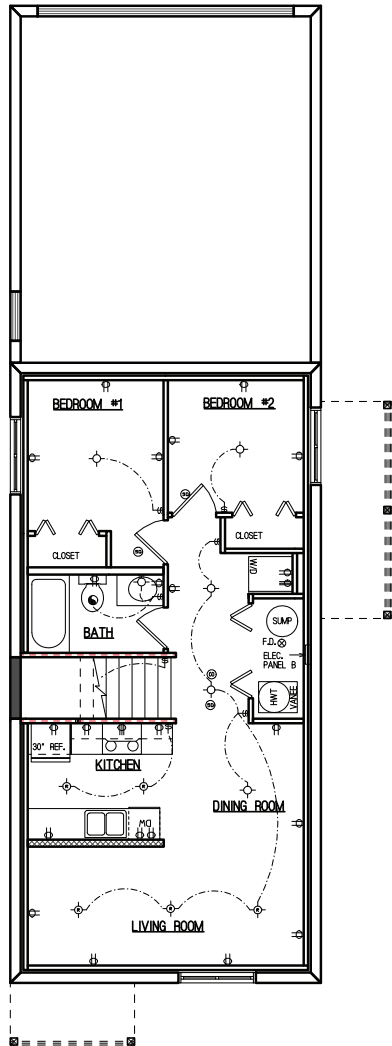


**ELECTRICAL - MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**ELECTRICAL - UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

LEGEND AND NOTES			
<b>ELECTRICAL SYMBOLS</b>			
	-	CEILING OR WALL LIGHT	
	-	SWITCH	
	-	FAN	
	-	DUPLEX RECEPTACLE	
	-	SWITCHED DUPLEX RECEPTACLE	
	-	220 VOLT RECEPTACLE	
	-	SMOKE ALARM	
	-	CARBON MONOXIDE	
	-	PULL CHAIN LIGHT	
	-	RECESSED OR POT LIGHT	
<b>NOTE!</b>			
ALL BEAMS/HEADERS AND POSTS ARE DESIGNED WITH A 50 LB SNOW LOAD. AREAS W/ HIGHER SNOW LOADS WILL REQUIRE RE-DESIGN.			
-	H-CLIPS		
-	TYPICAL BRG. HEADER TO BE 2-2x10 #2 OR BTR. SPRUCE UNLESS NOTED OTHERWISE		
-	7/16" OSB ROOF SHTG.		
-	3/8" OSB WALL SHTG.		
-	3/4" T&G OSB SUBFLOOR		
-	RAIN LOAD _____lb/sq.ft.		
-	SNOW LOAD _____lb/sq.ft.		
<b>BELLE MAISON DEVELOPMENT CORPORATION</b>			
ADDRESS: 303 EVERGREEN BLVD.			
MODEL: <b>CUSTOM</b>			<b>A8</b>
ORDER #: <b>K24028</b>			
DRAWN BY: LIFESPACE DESIGN (2024) INC.			
DATE ORIG. DRAWN: SEPTEMBER 16, 2024			
SPECIFICATION UPDATE: 2024			
REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
SKETCH REVISIONS	24 SEPT 2024	LIFESPACE	
SKETCH REVISIONS	26 SEPT 2024	LIFESPACE	
WORKING DRAWINGS	17 NOV 2024	LIFESPACE	



**BELLE MAISON**  
DEVELOPMENT CORPORATION

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A9

# B.1



Development Appeals Board  
c/o Office of the City Clerk  
222 – 3<sup>rd</sup> Avenue North  
Saskatoon SK S7K 0J5

www.saskatoon.ca  
tel (306) 975-3240

April 8, 2025

«RGSTR\_OWNER»  
«MAILING\_ADDR\_DELIV\_ADDR1»  
«MAILING\_ADDR\_CITY»  
«MAILING\_ADDR\_PROV\_CODE»  
«MAILING\_ADDR\_POSTAL\_CODE»

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## NEIGHBOUR NOTIFICATION

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**Reference:** Development Permit Denial – Appeal No. 13-2025  
**Site:** 303 Evergreen Boulevard  
**Proposal:** New One Unit Dwelling

The above-noted appeal has been filed by **Hannah Jiang from 102148684 Saskatchewan Ltd.** under Subsection 219(1)(b) of *The Planning and Development Act, 2007*. This letter has been sent to you as the registered owner or property manager of a property that has been deemed as neighbouring the subject site. The Board is required by law to send a notice in order to give the neighbouring property owners opportunity to submit comments in writing regarding the appeal.

The property is zoned **RMTN** under *Zoning Bylaw No. 9900*, and the development permit was denied due to the following deficiencies:

- Requirement:** Section 8.8.2 states a one-unit dwelling requires a minimum front yard building setback of 6 metres.

**Proposed:** Based on the information provided a front yard setback of 0.997 metres is proposed.

**Deficiency:** This results in a front yard setback deficiency of 5.003 metres.
- Requirement:** Section 8.8.2 states the site coverage maximum for a one unit dwelling is 40%.

**Proposed:** Based on the information provided a site coverage of 40.995% is proposed.

**Deficiency:** This results in the site coverage exceeding the maximum permitted by 0.995%.

**The Development Appeals Board will hear the appeal: Tuesday, April 29, 2025, at 4:00 p.m. in Committee Room E. Appeal hearings are open to the public.**

For additional information please refer to the website at [www.saskatoon.ca](http://www.saskatoon.ca) (select City Hall, City Council, Boards & Committees, Agendas, Minutes & Video, Development Appeals Board) or contact the Secretary at (306) 975-3240.

Development Appeals Board  
Appeal 2025 - 013

If you wish to provide written comments regarding this matter you are required to submit a letter including your name and full address to the Secretary, Development Appeals Board, City Clerk's Office, City Hall, Saskatoon, Saskatchewan, S7K 0J5 or email [development.appeals.board@saskatoon.ca](mailto:development.appeals.board@saskatoon.ca).

**Submissions providing comments and/or requests to speak must be received in the City Clerk's Office by noon the day of the hearing.** Please note that your letter and written comments are a public document and will be provided to the parties of the appeal in advance of the hearing.

**Debby Sackmann, Secretary**  
Development Appeals Board